

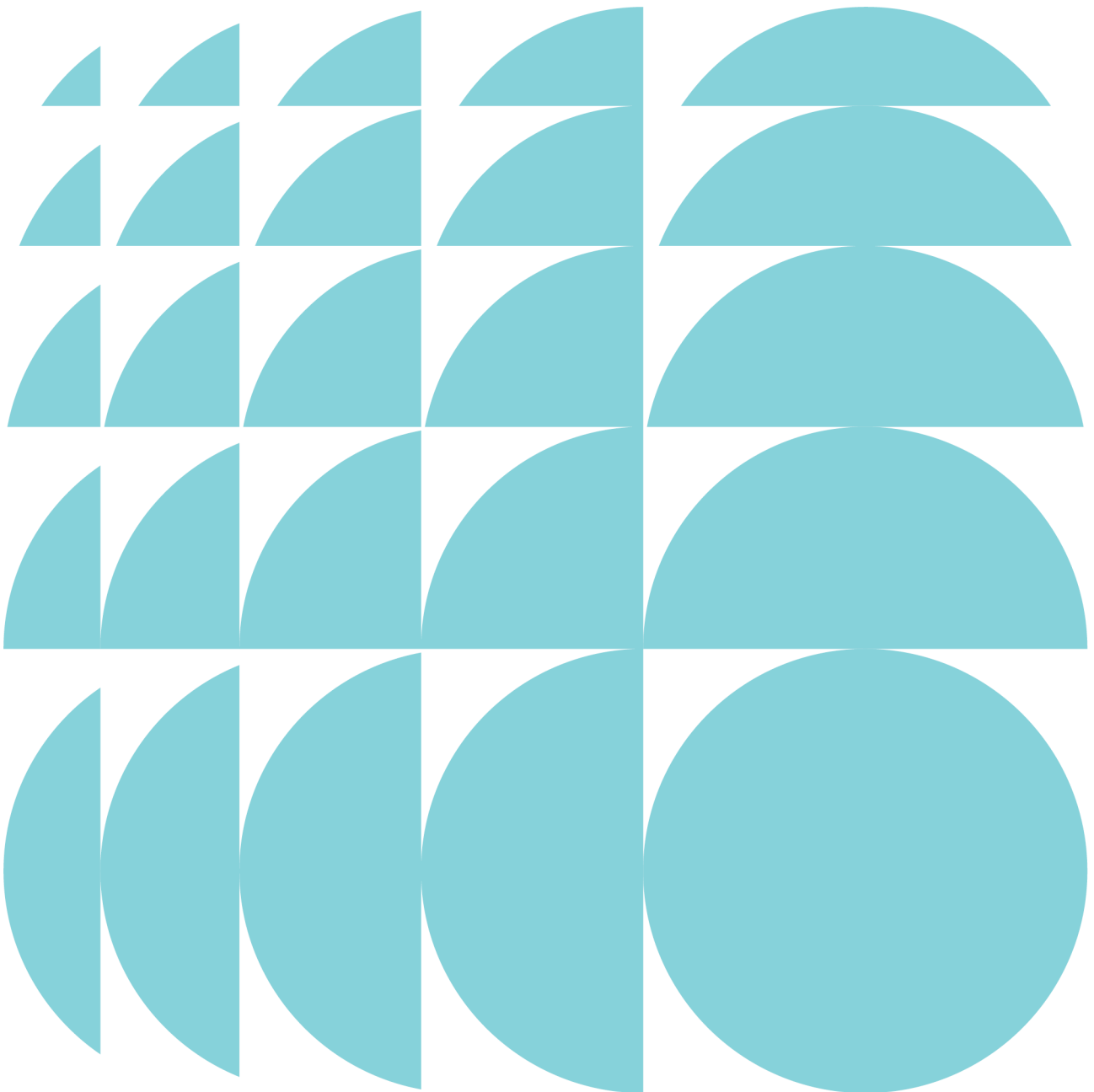
Attachment D

Design Competition Report

201 Elizabeth Street, Sydney
Architectural Design Competition Report

Submitted to City of Sydney
On behalf of Dexus Property Group

4 December 2018 | 14262



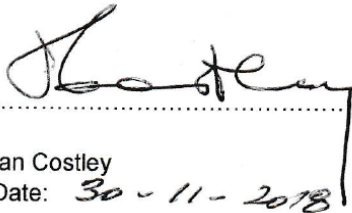
This Architectural Design Competition Report has been reviewed and endorsed by the Competition Jury, which comprises:



Tony Caro (Jury Chair)
Date: 30-11-18



Simon Fox
Date: 30/11/18




Ian Costley
Date: 30-11-2018



Rachel Neeson
Date: 30-11-18



Kerry Clare
Date: 30/11/18


Bridget Smyth
Date:

This Architectural Design Competition Report has been reviewed and endorsed by the proponent, Dexus Property Group and Perron Investments.

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Thomas Atkinson	November 2018	Samantha Miller	November 2018
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Ethos Urban

1.0 Introduction

This Architectural Design Competition Report has been prepared by Ethos Urban on behalf of Dexu Property Group and Perron Investments (the Proponent) for the Invited Architectural Design Competition (the Competition) undertaken for the 201 Elizabeth Street site (the Site). The Report summarises:

- The competition process;
- The architectural submissions; and
- The Jury's deliberations, decisions and recommendations.

The Report should be read with reference to the Architectural Design Competition Brief (the Brief) which is provided at **Appendix A**. The Competition was conducted in accordance with the Brief, which was endorsed by the City of Sydney (Council) and issued to all Competitors at the commencement of the competition.

1.1 Competition Process

The Competition was conducted in accordance with the protocols for an Invited Architectural Design Competitions as stipulated in the City of Sydney Competitive Design Policy 2013 (as amended) (the Competitive Design Policy). Six (6) architectural firms, including partnerships, participated in the Competition.

1.1.1 Competitors

The architectural firms invited to participate were selected due to their demonstrated ability to design high-quality and sustainable residential/mixed-use towers and public/retail spaces. The six (6) architectural practices and their partnerships who participated were (in alphabetical order):

- FJMT;
- Scott Carver and Henning Larsen;
- Simpson Haugh and Buchan;
- SJB;
- Zaha Hadid Architects (ZHA), Plus Architecture and Right Angle Studios; and
- 3XN.

1.1.2 Competition Manager

Ethos Urban were engaged by the Proponent to act as Competition Manager.

1.1.3 Technical Advisors

The Proponent made available the following advisors to provide technical assistance to all Competitors during the Competition and to the Jury to inform their deliberations and final decision regarding technical compliance with the Brief:

- Ethos Urban – Planning;
- WTP - Quantity Surveyor;
- Webber Design – Structural Engineering;
- Norman Disney Young – Mechanical and Electrical Engineering;
- Norman Disney Young – Hydraulic and Fire Services Engineering;
- Norman Disney Young – Lifts and Vertical Transport;
- TTPP – Traffic and Parking; and

- MEL Consultants – Wind Engineering.

1.1.4 Competition Fee

A competition fee of \$120,000 AUD (exc GST) was paid to each Competitor for participating in the Competition. Additional remuneration was provided to international competitors to cover the costs associated with travelling and staying in Sydney to attend the briefing and presentation days.

In addition to the Competition Fee, the Proponent paid for the technical advice set out in **Section 1.1.3** above. Any additional time or scope outside that nominated in the Brief was to be paid by the Competitor.

All other costs incurred by the Competitor, or their appointed consultants/advisors were borne by the Competitor.

1.1.5 Competition Jury

The Competition Jury was formed in accordance with Section 3.2 of the Competitive Design Policy. The Jury comprised a total of six (6) members, with three nominated by Council, each of whom have no pecuniary interest in the development or involvement in the development approval process, and three nominated by the Proponent.

The Jury comprised the following members:

- Three nominated by Council:
 - **Kerry Clare** – Director, Clare Design;
 - **Rachel Neeson** – Director, Neeson Murcutt Architects; and
 - **Bridget Smyth** – Design Director, City of Sydney Council.
- Three nominated by the Proponent
 - **Tony Caro** – Principal, Tony Caro Architecture;
 - **Ian Costley**; and
 - **Simon Fox** – Development Origination, Dexs.

Each Jury member agreed at the commencement of the Competition to comply with the following obligations:

- Have no contact with any of the competitors or the proponent in relation to the subject site and the design competition from their time of appointment until the completion of the process other than during presentation of the submissions;
- Evaluate submissions promptly in accordance with the Competition timetable as per the Key Dates in Section 1.7 of the Brief;
- Abide by the requirements of the Brief;
- Consider planning or other technical advice any clarification on compliance matters provided by Council;
- Refrain from introducing irrelevant considerations in addition to, or contrary to those described in the Brief, or contrary to the statutory framework relevant to this site;
- Make every effort to arrive at a consensus in the selection of a winner;
- Prepare an Architectural Design Competition Report explaining their decisions; and

The substantial breadth and depth of experience across the Jury ensured there was considerable debate and rigour applied during the deliberation and selection process.

1.1.6 City of Sydney Observers

In accordance with the Competitive Design Policy, the following Council staff were present as observers at different stages of the Competition:

- Graham Jahn AM, Director of City Planning, Development and Transport;
- Anita Morandini, Design Excellence Manager;
- Ben Chamie, Design Excellence Coordinator;
- Marie Ierufi, Strategic Planning & Urban Design;
- Maria O'Donnell, Specialist Planner; and
- Michael Soo, Senior Area Planning Manager.

During the Jury deliberations, Council Observers of the Council were invited by the Proponent and Jury to outline any specific comments on the Competitors' submissions' in terms of public interest considerations and compliance with the relevant planning controls.

1.1.7 Assessment and Design Process

The Jury's assessment and decision making was based on the Competitors' Final Submissions (including written material and drawings supplied), as well as the presentations made to the Jury. Consideration was given to the planning, commercial and design objectives set out in the Brief as well as the buildability of the proposed design.

The Jury was unable to reach a decision at the conclusion of the presentations and jury deliberation. To assist the Jury in reaching a decision, SJB and ZHA + Plus Architecture were asked to provide further clarifications on their design proposals. The Jury held a further deliberation day to review the clarification material as well as the submissions of all competitors. Following the further deliberation day, the Jury reached a unanimous decision in recommending a preferred winner of the competitive design process.

2.0 Chronology of Events

The Competition was run over a six (6) week program from the commencement date to the final submission date. Additional time was provided for technical review of the submissions, final presentations and for co-ordination of the Jury deliberations. A summary of the key dates for the Competition is presented in **Table 1**.

Table 1 Key Dates

Date	Event	Description
3 September 2018	Commencement of competition	Competition Brief issued to invited Competitors
5 September 2018	Competitor briefing session and site visit	Briefing session and site visit attended by Competitors
24 September 2018	Jury briefing session	Briefing session attended by four of the six Jury members
12 October 2018	Final submission lodgement date	Competitors submit electronic copies via the DCM and hard copies to the Competition Manager for distribution to the Jury
17 October 2018	Presentation material lodgement date	Presentations submitted to the Competition Manager for compliance check
19 October 2018	Technical advisor reports issued to Jury members and the City	Competition Manager circulates reports by technical advisors (excluding QS costing) to the Jury and Council.
19 October 2018	QS Costing issued to Jury Members and the City	Competition Manager circulates QS costing reports to the Jury, Council and Competitors.
23-24 October 2018	Final presentations	Competitors present their Final Submissions and physical model to the Jury
24 October 2018	Initial jury deliberations	The Jury meet to discuss Competitor submissions and presentations
26 October 2018	Request for clarification issued	After initial deliberations, the Jury request additional clarification of certain aspects of the SJB and ZHA + Plus Architecture designs.
9 November 2018	Clarification material submission date	SJB and ZHA + Plus Architecture submit Design Report Addenda via the DCM
14 November 2018	Updated technical advice on clarified schemes	Updated Structural Review and QS Cost Summary of SJB and ZHA + Plus Architecture designs provided to Jury
19 November 2018	Jury deliberations and decision	The Jury meet for additional deliberation and make final decision on Competition Winner
3 December 2018	Notification to Competitors of decision	Letters of competition close and notification of Competition Winner issued to Competitors via email

3.0 Competitors Final Submissions: Jury Comments

A total of six (6) architectural schemes were considered by the Jury. Each individual scheme provided a distinct and inventive response to the Brief, with each Competitor presenting a high-quality written submission and presentation. A brief summary of each scheme is provided in the following sections.

3.1 SJB

SJB proposed a tower comprised of slender ‘fingers’ extending from a solid podium, taking inspiration from both sandstone and the coastline of Sydney. The expression of the individual fingers of the tower accentuates the verticality of the façade to reduce the visual bulk of the tower, and maximises views to Hyde Park. While exceeding the height of the approved building by 7.08m, the proposal offered an improved overshadowing impact to Hyde Park in comparison to the Concept DA.

The Jury commended SJB on the high quality, high amenity and good environmental responses of the apartment layouts and design within the residential component of the project. The Jury also commended SJB on the civic qualities of the podium expression and the location of the hotel ballroom receiving natural light and views to Hyde Park.

The Jury sought further clarification from SJB to address technical advice relating to the structural solution, the expression of the tower and its architectural language, as well as to more closely align the submission with the target land use mix and yield within the Brief.

Although the additional material addressed a number of the Jury’s initial concerns, the Jury were of the view that the SJB scheme would require significant design changes to resolve the tower expression and hotel efficiency. The Jury also noted that the SJB scheme continued to present a number of structural and cost challenges.

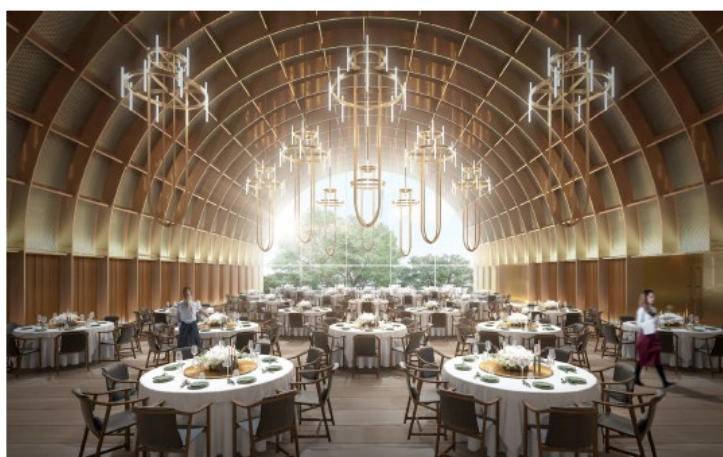


Figure 1 SJB competition submission

3.2 FJMT

FJMT proposed a tri-partite 'cluster' of finely proportioned elements for the tower, each at a different height and orientated towards the north east in a varying fan alignment. The alignment of each element maximises views from apartments to Hyde Park and Sydney Harbour. Whilst the height exceeds that of the approved building envelope, the sculpting and massing of the tower form reduces overshadowing of Hyde Park and the Anzac War Memorial. The Jury were of the opinion that the proposed tower form resulted in a superior public interest outcome.

A generous setback to the southern boundary provided a clearly defined visual connection between St George's Church and Hyde Park. The Jury commended this urban design response and the creation of a public area for circulation with strong retail activation.

The Jury raised concerns about the diagonal through-site link from Park Street to Elizabeth Street and its impact on hotel planning and operations, and the architectural expression of the podium facade.



Figure 2 FJMT Scheme viewed from Hyde Park

3.3 Scott Carver and Henning Larsen

Scott Carver and Henning Larsen presented a tower articulated by horizontal sandstone louvres, emphasising the horizontal proportions of the tower and providing a distinctive sculptural expression. The design concept for the tower was based on bridging the divide between Hyde Park, Sydney's historical civic and cultural buildings, and the existing tower buildings that define the edge of Sydney's CBD. The incorporation of sandstone across the tower sought to reflect the materiality of historical civic buildings and cliff formations around Sydney.

The scheme challenged the traditional notion of a tower setback above a podium, with the two elements blended by extending the towers architectural expression down to street level. A series of outdoor common spaces provided areas for people to interact and enjoy views to Hyde Park and Sydney Harbour. The scheme responded to the city scale while maintaining the alignment of the street wall along Elizabeth Street. In the design of the lower ground floor and ground floor, Scott Carver and Henning Larsen sought to create an open and interconnected public realm. These floors provided strong pedestrian linkages to surrounding buildings, Hyde Park and the future Sydney Metro. The Jury had concerns about local micro-climate impacts on private, common and public spaces, the ability of the internalised hotel spaces to deliver a high quality environment, the architectural expression of the podium, street and lane activation, and equitable access at the ground plane.



Figure 3 Scott Carver and Henning Larsen Scheme viewed from Hyde Park

3.4 ZHA, Plus Architecture and Right Angle Studios

The ZHA, Plus Architecture and Right Angle Studios (ZHA team) scheme proposed an elegant and distinctive tower articulated by alternating horizontal forms at building corners. The volumetric interplay of the tower provided an elegant transition between the verticality of the tower and the horizontal alignment of the podium.

Along Elizabeth Street the ZHA team scheme incorporated an indentation that sought to 'extend' Hyde Park into the proposal and provide relief for pedestrians along Elizabeth Street. The indentation of the podium also allowed a portion of the tower to visually extend down to street level.

The Jury sought further clarification from the ZHA team regarding the podium expression and maintaining a visual connection to St George's Church. Although the additional information addressed some of the issues raised the Jury were not convinced that the urban design and public benefits of the amended proposal warranted variation to the park edge street wall alignment. In addition to this the Jury also had concerns about activation of Castlereagh Street and the lane, the visual prominence of vehicular circulation (car park ramp and porte cochere), internal corridors within the podium and the internalised ballroom, the viability of the tower gardens and reliance on performance glass.



Figure 4 ZHA and Team Scheme as viewed from Hyde Park

3.5 Simpson Haugh and Buchan

The Simpson Haugh and Buchan scheme proposed a tower and podium articulated as two separate elements, with the sculpted tower form extended to ground level and embedded within podium. The tower façade consisted of undulating glass forms, that provided articulation and mitigated excessive thermal transfer. The sandstone, bronze metalwork and glass materiality of the podium provides a strong visual contrast to the undulating glass tower, reinforcing the legibility between the tower and podium. The podium has been designed to reinforce the city block structure, and to animate the surrounding streets whilst reinforcing the sense of enclosure along Elizabeth Street.

The form of the tower angles inwards as it approaches street level. This allows the tower to penetrate to ground floor while maintaining the external definition and character of the podium. However, the Jury had concerns regarding the integration and spatial relationships between the tower and the podium.

A twin core structural arrangement aimed to provide superior solar access and maximises views from apartments to Hyde Park and Sydney Harbour. However, the Jury had concerns regarding the impacts of this arrangement upon the efficiency of the tower. Further issues included high solar exposure and the impacts on hotel amenity of the diagonal through-site link from Park Street to Elizabeth Street.



Figure 5 Simpson Haugh and Buchan Scheme viewed from Hyde Park

3.6 3XN

The design concept proposed by 3XN envisaged a tower rising gradually from the park, terracing upwards in a modular, stacked pattern with overhangs and gardens. In this regard, the façade and form of the tower took inspiration from cliff formations around Sydney, with varied and stacked layers enhancing modularity and breaking down the perceived scale of the tower. The form of the tower is complemented by extensive vegetation across the façade, providing a visual extension of the greenery of Hyde Park.

The form of the podium responded to the 'gateway' location of the site on the corner of Park Street and Elizabeth Street, dropping in height at the northeast corner to connect with Hyde Park. The volume of the podium transitions upwards from the northern corner to the tower through a combination of plateaus, terraces and vegetation overhangs. The Jury commended the attempt to connect the proposal with Hyde Park, but had concerns regarding the extent of erosion on the northeast corner and the corresponding impact on establishing a consistent urban response to the street-wall along Elizabeth Street.

The Jury was generally supportive of the attempt to create a soft transition between Hyde Park and the Sydney CBD, but had concerns regarding the contextual suitability of the concept design and the impact of local wind conditions on the façades, vegetation and outdoor private and communal terrace areas, particularly on the upper floors. Whilst the proposal was generally compliant with the requirements of the ADG, the Jury had a number of concerns in relation to internal apartment planning.



Figure 6 3XN Scheme viewed from Hyde Park

4.0 Quantity Surveyor Assessment

In accordance with Section 5.8.3 of the Brief, WTP provided cost estimates for each of the final submissions. The total estimated cost for each scheme is presented in **Table 2** below. As per these cost estimates, no scheme in the form presented in its final submission met the construction budget of \$352 million as prescribed in Section 4.3.1 of the Brief.

It should be noted that the cost estimates excluded design contingencies, design fees, development costs other than construction, lessee fit-out and GST. Since the costs were based on preliminary design information, the estimates should be regarded as indicative and used for broad cost comparison purposes only (not for feasibility purposes).

Table 2 Quantity Surveyor Cost Estimates

Competitor	Estimated Cost	Overall Cost/m ²
Scott Carver and Henning Larsen	\$427,000,000	\$5,151
3XN	\$447,300,000	\$5,057
FJMT	\$459,000,000	\$5,096
SJB	\$483,150,000	\$5,225
ZHA, Plus Architecture and Right Angle Studios	\$453,450,000	\$5,173
Simpson Haugh and Buchan	\$442,500,000	\$5,355

Source: WTP

5.0 Competition Winner: Jury Recommendations

Following deliberations, the jury have selected FJMT as the winner of the design competition and authors of the scheme most capable of achieving design excellence for the following reasons:

- The scheme presents a superior response to St George's Church in relation to the setback to the southern boundary, including the width, proportion and axial centralisation of St George's Church within this new space. The activation of this southern setback with a retail edge and landscaping treatment is supported and should be retained;
- The siting of the pedestrian entrance to Museum Station within the southern through-site link is supported by the jury and is a positive outcome by bringing commuters up from lower ground level and into the public domain;
- The provision of an activated zone to Castlereagh Street on the property boundary minimises the impact of the hotel drop-off on the public domain whilst providing improved amenity to the hotel arrival experience;
- The porosity of the ground floor and extensive activation on all frontages and internal through-site connections should be retained;
- The formulation of the tower form to reduce the shadow cast by the building on the steps of the Anzac War Memorial represents a superior public interest outcome whilst presenting a sculptural tower form;
- The scale, proportion, and vertical and horizontal articulation of the tower is very successful. The tri-partite form of the tower is elegant and supported by the jury. The tower coming to ground within the diagonal through-site link creates a strong relationship between the podium and tower, whilst maintaining the visual integrity of the park edge street wall;
- The approach to ESD and microclimate is commended, and the jury supports the development of these aspects; and
- The location of the ballroom space within the podium providing views to Hyde Park.

The Jury recommended the following issues be the subject of further design refinement and resolution prior to the submission of the development application:

- *Podium expression:* Whilst the jury appreciates the contextual study of Elizabeth Street the podium façades are considered to be an over-articulated filigree, which detracts from the intent and principles established in the study. The local precedents contained within the design report present a calmer face to Elizabeth Street, and a stronger sense of a substantial podium wall. The podium façade and its ordering grid could be simplified to provide more legibility and external expression of the hotel uses contained within, such as giving stronger presence to the ballroom.
- *Hotel operation:* The hotel planning requires a fundamental review to ensure that efficient access and functional operations can be achieved on every floor from a common core.
- *Hotel rooms:* Internal facing hotel rooms (as proposed in 'Anzac Memorial Arcade') should be minimised or preferably avoided entirely. The proposed extent of natural light and air to common access corridors in the hotel should be maintained or improved where possible.
- *Tower expression:* Whilst the horizontal and vertical articulation of the tower is supported; the terracotta horizontal elements need to be reviewed to ensure the visual appeal of the tower is not lost while the expansive views from apartments are optimised. In addition to this, the Jury recommends that the vertical slots between the three parts of the tower are further accentuated in plan and detail to ensure that the clear articulation suggested in the photomontages is evident in the built work.

The jury notes that the winning scheme exceeds the maximum height of the approved building envelope. This variation to the building envelope may be supported by the jury if it can be demonstrated that the tower form results in an improved shadow reduction to Hyde Park and does not result in view loss to surrounding residential buildings beyond that considered in the Concept DA.

6.0 Conclusion

This Invited Architectural Design Competition has been carried out in a professional and transparent manner in accordance with the Brief and the Competitive Design Policy. This Architectural Design Competition Report documents the competitive process and the Jury's selection of the FJMT scheme as the Competition Winner.

The Jury consider that the selected Competitor's design demonstrated a superior response to the design, commercial and retail objectives of the Brief, and subject to the recommendations above is capable of achieving design excellence.

Overall, the significant efforts made by all Competitors are recognised, and the Jury, Dexus Property Group and Perron Investments wish to thank all Competitors for their participation in this significant architectural exercise.

ETHOS URBAN

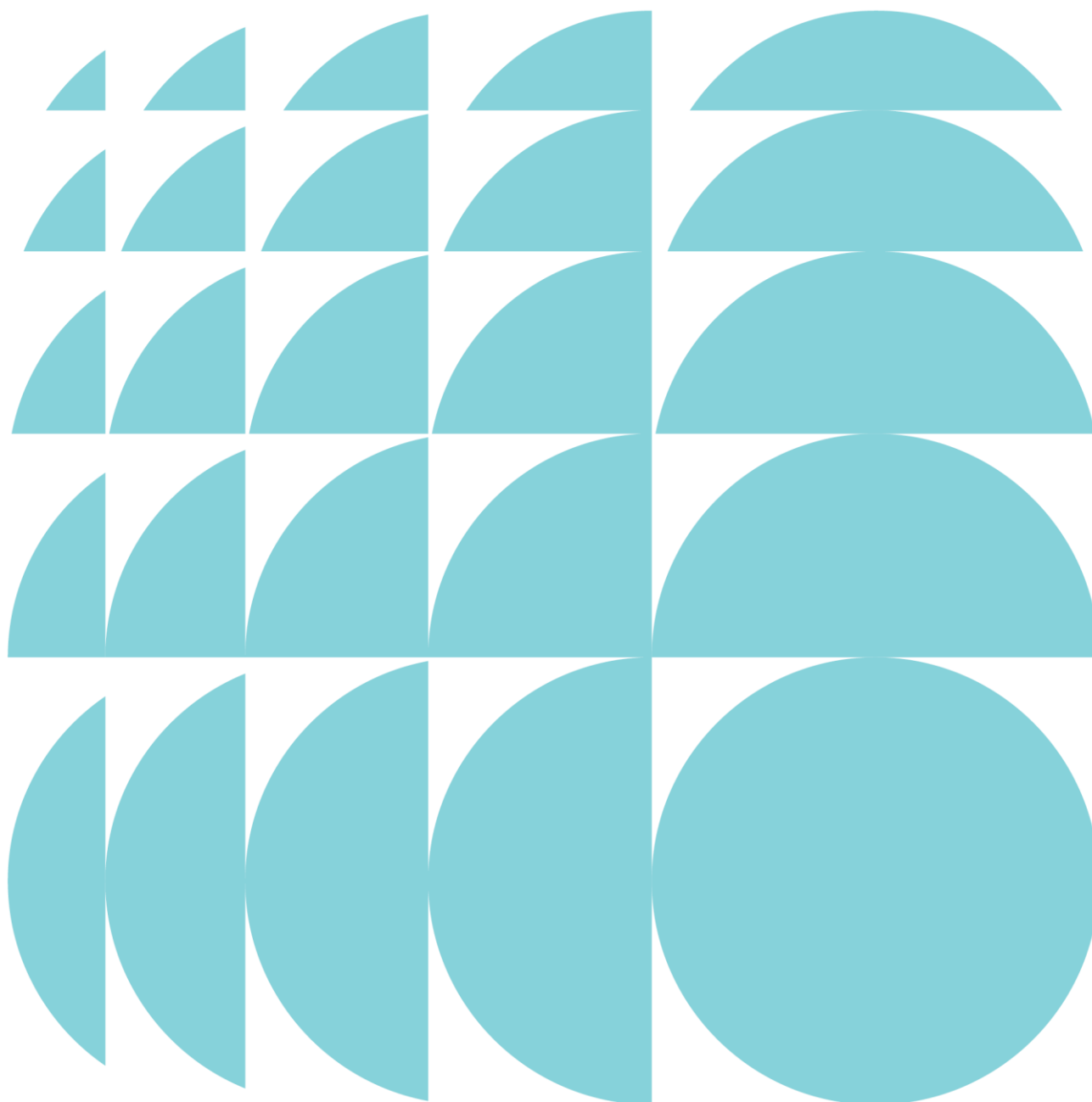
Competition Brief

Invited Architectural Design Competition

201 Elizabeth Street, Sydney

Prepared on behalf of Dexu Property Group

September 2018 | 14262



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U	Concept DA Heritage Impact Statement <i>Urbis</i>
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Where there is an inconsistency between the Brief and the Appendices/Attachments the Brief prevails, except for Appendices which include planning controls. Any reliance on information and assumptions contained in the Appendices is for the purpose of this competitive process only. Information and assumptions may have changes since documents were prepared. Consideration of other relevant matters following this competitive process may also alter other assumptions.

Nothing in the Appendices is to infer or to be taken as an approval, agreement or endorsement by Council. Information contained within any of the Appendices in no way fetter the Council's determination in regard to compliance with the relevant planning controls and policies.

INTRODUCTION

1.0 Introduction

1.1 Overview of the Architectural Design Competition

The purpose of this invited Architectural Design Competition (design competition) is to select the highest quality architectural, landscape and urban design solution for the development of 201 Elizabeth Street, Sydney (the site, refer to **Figure 1**) in accordance with the *City of Sydney Competitive Design Policy 2013* (the Policy).

Competitors are to prepare schemes for the design of the project in accordance with the approved concept DA, being D/2017/349, which grants consent for concept approval for a building envelope with a height of up to 50 storeys (RL198.22) mixed use building comprising:

- A mixed-use retail/non-residential/hotel podium element.
- A tower element accommodating residential apartments.
- East-west through site link and pedestrian access to Museum Station from the lower ground floor.
- Four basement car parking levels, accommodating car parking and loading and service areas.

The concept DA is described at **Section 3** of this brief. The approved building envelope plans and Notice of Determination for D/2017/349 are provided at **Appendix A** and **Appendix B** respectively.

This design competition includes a total of five competitors that will prepare schemes for the design of the project in accordance with the approved building envelope and relevant conditions of consent. This design competition will be carried out in accordance with the Policy, the relevant provisions of the *Sydney Local Environmental Plan 2012* (SLEP 2012) and the Sydney Development Control Plan 2012 (SDCP 2012) and the conditions of the D/2017/349.

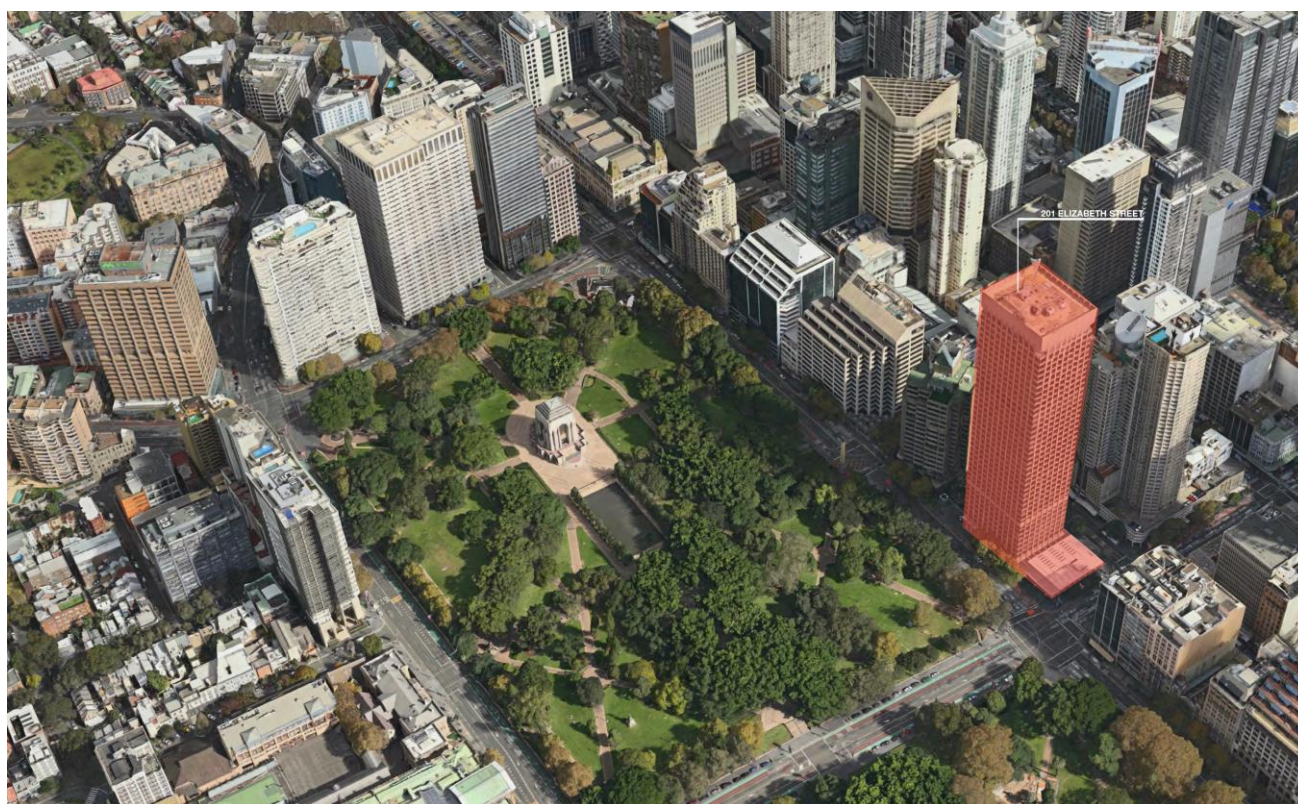


Figure 1 Location of 201 Elizabeth Street (Competition Site)

1.2 Competition Vision

The 201 Elizabeth Street development will be a landmark building consisting of bespoke residential suites and penthouses, a luxury hotel and integrated retail uses. Situated adjacent to Hyde Park, acting as the gateway between the east and the Sydney CBD, the development will be renowned for sun-basked, high quality spaces capturing panoramic park, harbour and CBD skyline views. A highly accessible destination with all major Sydney attractions and business districts within reach.

This competition will deliver a development that not only achieves an exemplary architectural form and function but also delivers significant public benefit in the Sydney CBD by reducing shadow impacts on Hyde Park in mid-winter, providing renewed pedestrian connections and an improved public domain in the vicinity of the site.

1.3 The Proponent

The proponent for this design competition is Dexus Property Group (Dexus) on behalf of the land owners DEXUS Funds Management Limited as Trustee for DOT Commercial Trust AND Perron Investments Pty Ltd.

About Dexus:

Dexus is an Australian Real Estate Investment Trust, with \$26.5 billion of assets under management. Listed on the Australian Securities Exchange, Dexus manages and directly invests in high quality Australian property, and also actively manages office, industrial, retail and healthcare properties across Australia on behalf of third party capital partners.

Dexus believes that the strength and quality of their relationships with their people and customers will always be central to their success and are deeply committed to working with customers to provide spaces that engage and inspire. Dexus is a lead innovator in the property industry in promoting environmental sustainability.

About Perron:

Perron Group is a substantial privately-owned Perth-based group of companies with business interests in commercial property investment, automotive distribution, infrastructure, iron ore, residential land development and managed equities.

The Perron Group property portfolio comprises Australian regional and sub-regional shopping centres, commercial office buildings and industrial property. The Group is wholly owned and controlled by Founder and Chairman Lloyd Stanley Perron.

1.4 State Significant Development

Development for cultural, recreation and tourist facilities with a capital investment value (CIV) of more than \$100 million is State Significant Development (SSD) for the purposes of the EP&A Act as prescribed by item 13(2) of Schedule 1 of the *State Environmental Planning Policy (State and Regional Development) 2010* (SRD SEPP).

The proposed development includes tourist and visitor accommodation with a CIV of \$201,000,000 and therefore the proposal is declared SSD. In accordance with clause 8(2) of the SRD SEPP, all parts of a single development application are also declared SSD for the purposes of EP&A Act. Accordingly, all aspects of the development to which this design competition relates are also declared SSD.

The future detailed (stage 2) DA for the project, following this competition, will be SSD.

1.5 The Consent Authority

The project is State Significant Development and in accordance with section 4.5(a) of the *Environmental Planning and Assessment Act 1979* (EP&A Act) the Independent Planning Commission is the consent authority.

The Minister and the Secretary delegated their functions for the assessment and determination of the Concept (Stage 1) DA of the project to the City of Sydney and the Central Sydney Planning Committee (CSPC). It is anticipated that a similar delegation will be made in respect of the Detailed (Stage 2) DA.

1.6 Competition Manager

The proponent has appointed Ethos Urban as competition manager of this design competition. The competition manager from Ethos Urban is:

Samantha Miller – Principal, Planning
173 Sussex Street, Sydney NSW 2000
+612 9956 6962

1.7 Competition Program

The design competition will run over a six (6) week period from the commencement date to the final submissions lodgement date with an additional week to enable competitors to prepare a physical model and presentation material. Key dates for this design competition are set out in **Table 1**.

Table 1 Key Dates

Week	Date	Milestone / Competition Process
Week 1	3/09/18	Commencement Date: Brief issued to competitors
	5/09/18	Briefing Session: Dexus Place, Level 15, 1 Farrer Place, Sydney NSW 2000 Competitors are encouraged to conduct an independent site visit following the briefing session.
		Working time
Week 2	10/09/18	Working time
Week 3	17/09/18	Working time
Week 4	24/09/18	Working time
	24/09/18	Jury Briefing Day and Site Visit
Week 5	1/10/18	Working time
Week 6	8/10/18	Working time
	12/10/18	Final Submission Lodgement Date (end week 6) Competitors must submit the electronic copy of the Final Submission via the DCM by 5:00pm (AEST time). Hard copy of the Final Submission must be delivered to the Competition Manager by 5.00pm (AEST time)
Week 7	15/10/18	Competition manager to issue hard copy of Final Submissions to jury and the City's impartial observers
	15/10/18-19/10/18	Technical Review The final submissions will be reviewed by the technical advisors to the jury (refer to Section 5.8). Competitors will be provided with a copy of the QS review a minimum of two working days prior to the presentation date.
	17/10/18	Submission of Presentation Material PowerPoint presentation to be submitted to the Competition Manager (via the DCM) for review prior to Presentation Date. The competition manager will notify a competitor of any request to delete additional content a minimum of 24 hours prior to the presentation date.
	19/10/18	Provision of QS advice to Competitors QS preliminary costing review to be provided to competitors at least two days prior to the Presentation Date.

Week	Date	Milestone / Competition Process
Week 8	23/10/18	Presentation Date 1 Competitors to present Final Submissions and physical 1:500 model to the Jury. Presentations to be held at: Dexus Place, Level 15, 1 Farrer Place, Sydney NSW 2000 The schedule of the presentations will be provided directly to the Competitors.
	24/10/2018	Presentation Date 2 and Jury Deliberations Competitors to present Final Submissions and physical 1:500 model to the Jury.
	Within 14 days of Presentation date.	Decision Date Date by which submissions are evaluated by the Jury with a recommendation made for the formal appointment of a successful Competitor.
	Within 14 days of Decision Date	Notification to Competitors Date by which all Competitors are notified in writing of the decision.
	Within 14 days of Decision Date	Architectural Design Competition Report Date by which the Architectural Design Competition Report prepared by the Jury is to be issued to the City of Sydney.



SITE DESCRIPTION

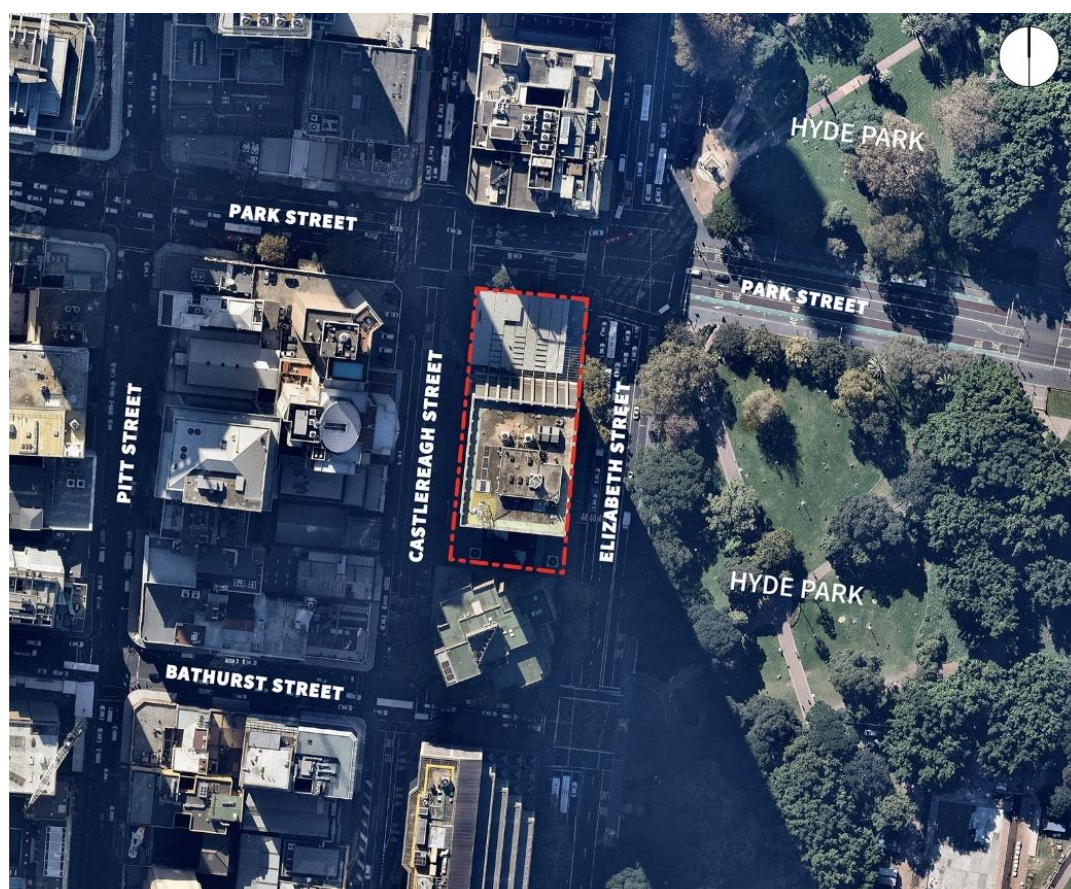
2.0 Site Description

2.1 Site Details

2.1.1 The Site

The site is located 201-217 Elizabeth Street, Sydney and is situated on the eastern border of the Sydney Central District (CBD) in a block bound by Park Street to the North, Elizabeth Street to the East, Bathurst Street to the South and Castlereagh Street to the West (refer to **Figure 2**). The site is directly opposite the western border of Hyde Park.

The site has an area of approximately 3,901m² and is legally described as Lot 1 in Deposited Plan 868008, refer to **Appendix D** for a detailed survey plan.



Legend

The site

Figure 2 Competition Site location

2.1.2 Easements

The site is affected by a number of easements that will need to be considered in the design response for the competition:

- Reciprocal right of carriageway providing shared basement access with 227 Elizabeth Street – to be maintained.
- Right of footway within site providing pedestrian access on Castlereagh Street – to be extinguished.

- Lease to the Sydney County Council of substation and control point rooms – to be modified or extinguished.
- The detailed location of the reciprocal right of carriageway with 227 Elizabeth Street is shown at **Appendix O**.

2.1.3 Site History

In 1889, the site was occupied by Dixon's Tobacco Factory as a warehouse, office and factory in a five-storey building, including a basement, a large factory chimney and two patent lifts worked by steam power.

In 1912, the building was sold to the Australian Temperance and General Assurance Company. Three top floors were added to the existing building in 1913 to accommodate the company and to remodel the entire building to provide "suites of chambers for professional men, residential flats and a large restaurant". (see **Figure 3** and **4**)

In 1928, the Australian Temperance and General Assurance Company building was fully demolished and replaced in 1931 by the new T&G building designed by architects A&K Henderson. With a height of 68m to the top of the tower, it was the tallest building in Sydney until 1939. (See **Figure 5** and **6**).

In 1975 the T&G building was demolished and replaced in 1979 by the existing building known as 201 Elizabeth Street designed by architects Kann, Finch & Partners Pty Ltd. Competitors may access historic information about the general district in the Concept DA Heritage Impact Assessment, **Appendix U**.

Competitors may also access further historic information regarding Sydney Trove list in which the site is located using the following link: <https://trove.nla.gov.au/list?id=67440>



Figure 3 1923-1928. View looking South West across Hyde Park toward the intersection of Elisabeth Street and Park Street. (Source: City of Sydney Archives)



Figure 4 1916. View looking West along Park Street. (Source: City of Sydney Archives)



Figure 5 1930. View looking South West across Hyde Park toward the intersection of Elisabeth Street and Park Street. (Source: City of Sydney Archives)



Figure 6 1940. Aerial View looking North West. (Source: City of Sydney Archives)

2.1.4 Existing Development

The site currently accommodates a 38 storey commercial office tower above 2 levels of basement car park accessed from Castlereagh Street. Single storey, double height retail occupied by Starbucks Coffee is provided on the street frontage to Park Street (approximately 37 metres). The Castlereagh Street frontage (approximately 87 metres) accommodates access to a two levels basement carpark (176 spaces), including a Wilson parking facility. The Elizabeth Street frontage (approximately 87 metres) accommodates the lobby for the existing commercial office tower. Lower ground retail is also provided across the site including a below ground pedestrian access connecting Park Street, 201 Elizabeth Street, 227 Elizabeth Street and connection to the railway pedestrian tunnels. The existing development is shown in **Figure 7**.



Figure 7 Existing Development of the site from William Street and Hyde Park

Primary pedestrian access to the existing commercial office tower is provided from Elizabeth Street and Park Street. Ground and lower ground retail tenancies is provided via Elizabeth Street and Park Street (Park Street tenancy only). Pedestrian access is set back from the property boundary on Castlereagh Street as to accommodate the basement car park access ramp.

Secondary access, including vehicular access to the basement car park is provided via Castlereagh Street in the central part of the site, with an exit provided to Castlereagh Street via 227 Elizabeth Street directly to the south of the site. The car park entrance utilises an area of land owned by the City of Sydney and leased to the site owners. There is an existing right of way easement in place to allow vehicles on the site to exit via 227 Elizabeth Street and, Conversely, for vehicles accessing 227 Elizabeth Street to enter via the site. The existing road network and traffic flows are presented in the Traffic and Transport Brief at **Appendix N**.



Figure 8 The site looking south-west, corner of Elizabeth Street and Park Street. Source: Ethos Urban



Figure 9 The site looking south along of Castlereagh Street – entrance to the Wilson basement parking. Source: Ethos Urban

2.2 Specialist Site Characteristics

2.2.1 Site Access Arrangements

Existing Conditions

Pedestrian access to the existing commercial office tower is provided from Elizabeth Street, whilst access to lower ground retail tenancies is provided via Park Street. The site currently provides a subway pedestrian connection to Museum Station, via lower ground retail at 201 Elizabeth Street and 227 Elizabeth Street adjoining to the south (see **Figure 10**). Pedestrian access is set back from the property boundary on Castlereagh Street as to accommodate the basement car park access ramp (see **Figure 11**).

Vehicle access to the basement car park is provided from Castlereagh Street in the central part of the site, with an exit provided to Castlereagh Street via 227 Elizabeth Street directly to the south of the site. The car park entrance utilises an area of land owned by the City of Sydney and leased to the site owners. There is an existing right of way easement in place to allow vehicles on the site to exit via 227 Elizabeth Street and, conversely, for vehicles accessing 227 Elizabeth Street to enter via the site. The existing road network and traffic flows are presented in the Transport Report at **Appendix N**.



Figure 10 Existing lower ground retail and connection to Museum Station

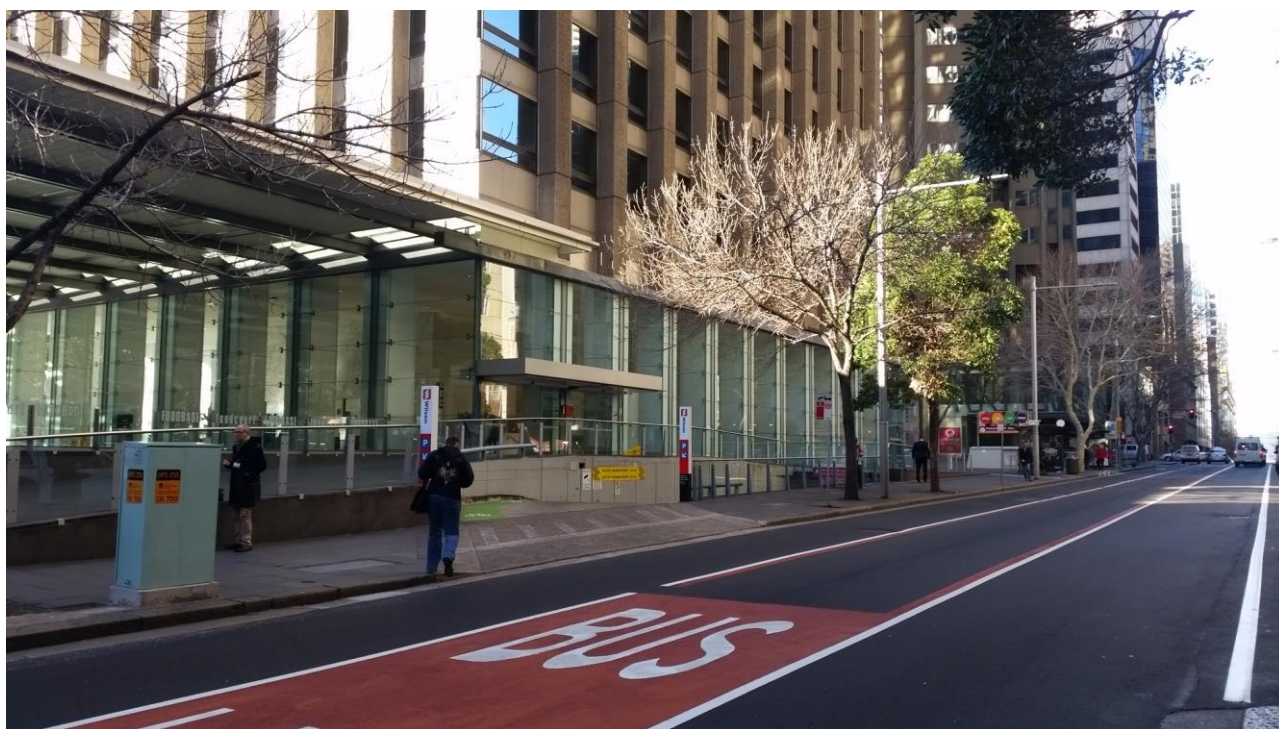


Figure 11 Existing basement access ramps and pedestrian access on Castlereagh Street

Proposed Access Arrangements

As per deferred commencement condition (1) of the Concept DA, site access arrangements have been the subject of further negotiation with Transport for NSW and City of Sydney. The Concept DA approval provides single direction access by two driveway crossovers off Castlereagh Street subject to the satisfaction of deferred commencement condition (1). This provides for hotel drop-off facilities and vehicle access to basement car parking. The approved site access arrangements are detailed in **Figure 12**.

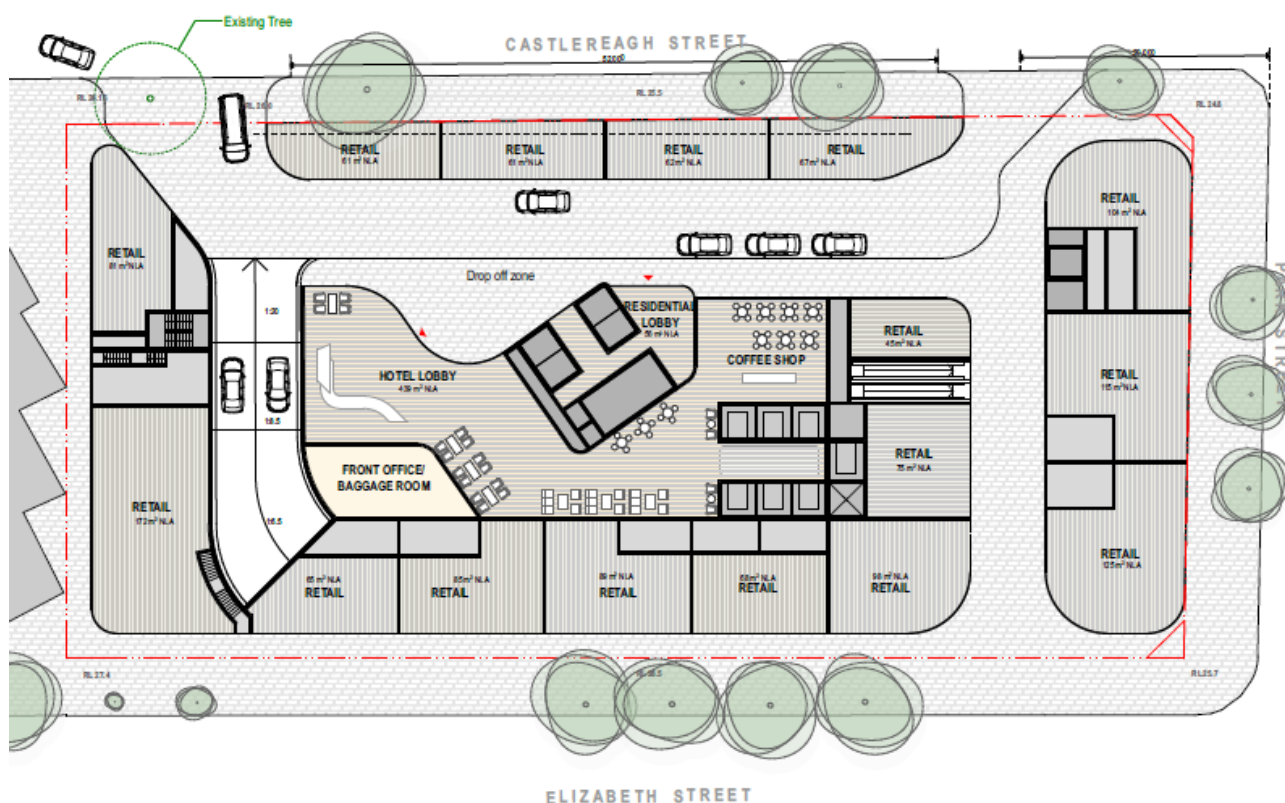


Figure 12 Proposed site access arrangements subject to deferred commencement condition 1

Source FJMT

Sydney City Centre Access Strategy (SCCAS)

Released in December 2013, the SCCAS provides a detailed plan showing how people will enter, exit and move in and around Sydney CBD over the next 20 years.

The SCCAS identifies Castlereagh Street, adjacent to the subject site, as part of a key bus route and strategic cycleway network. SCCAS identifies a two-way separated cycleway to be constructed on Castlereagh Street, south of King Street.

The design of vehicle access arrangements should consider the existing and future uses and priorities identified for Elizabeth and Castlereagh Streets detailed below:

- Elizabeth Street:
 - Priority bus corridor with enhanced bus lanes on both sides of the road
 - Will continue to support general traffic via one continuous lane in each direction
 - Kerb side lane in each direction will provide access for bus stops, traffic turning left and loading and access to properties.
- Castlereagh Street:
 - One-way (southbound) street that will provide local access for all transport modes (including walking, driving, deliveries, buses and cycling).
 - Slight increase in bus numbers along Castlereagh during construction of CBD and South East Light Rail.
 - Existing bus lane in Castlereagh Street will be retained.
 - A bi-directional segregated cycleway will be developed along Castlereagh Street (south of King Street) and will run along the western side of the road, taking the lane currently used for loading and parking.

2.2.2 Pedestrian Wind Environment

Wind tunnel testing was completed based on a building envelope of similar configuration and location to that of the approved Concept DA. The results of this testing are provided for reference at **Appendix R** and replicated at **Figure 13**. This identifies that critical locations within the vicinity of the site will require detailed design considerations in order to deliver a pedestrian wind comfort level.

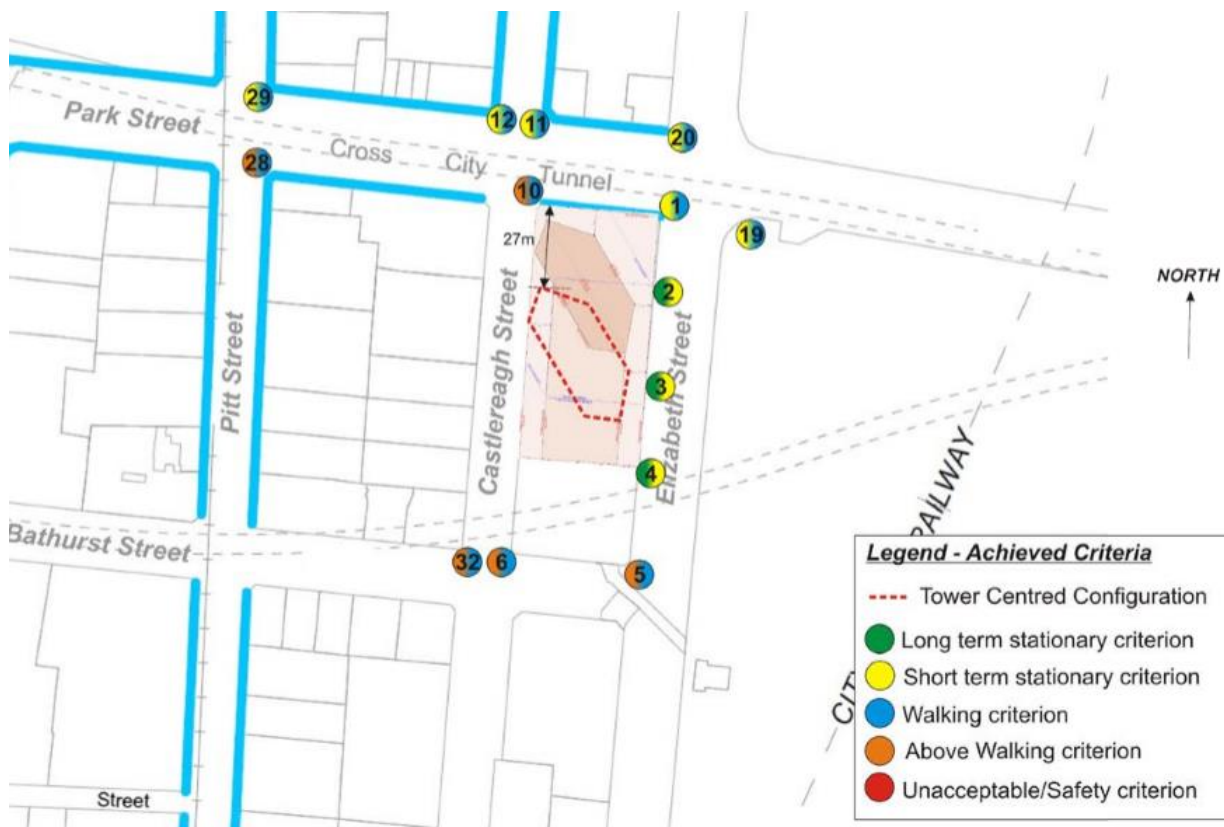


Figure 13 Pedestrian wind conditions based on a central tower configuration

Source MEL Consultants

2.2.3 Site Ground Conditions

Contours

The site is located on an incline and there is a change in level between Elizabeth Street and Castlereagh Street frontages. The ground level varies from RL25.73 at the north-eastern (Elizabeth Street) corner of the site to RL25.10 at the north-western (Castlereagh Street) corner. The site has a soft cross fall from Elizabeth Street to Castlereagh Street to the west of approximately one metre, and a slight fall in the land from south to north. A Survey Plan is attached in **Appendix D**.

Rail Corridors

The site adjoins the existing City Circle rail corridor and the proposed Sydney Metro rail corridor. The future Pitt Street North Metro Station platform on Castlereagh Street adjoins the sites western boundary. The proximity of the station box to the development is shown in **Figure 14** below. A Metro Corridor Impact Statement was prepared by Taylor Thompson Whitting (TTW) (refer to **Appendix P**) which assesses the potential impacts of the development on the surrounding rail corridors.

It is understood that excavation will extend below RL 8.65 metres and reach the site boundary as such could have potential impacts on the metro station including; stress redistribution and additional loading on the station cavern dependent on the foundation design and excavation methodologies chosen.

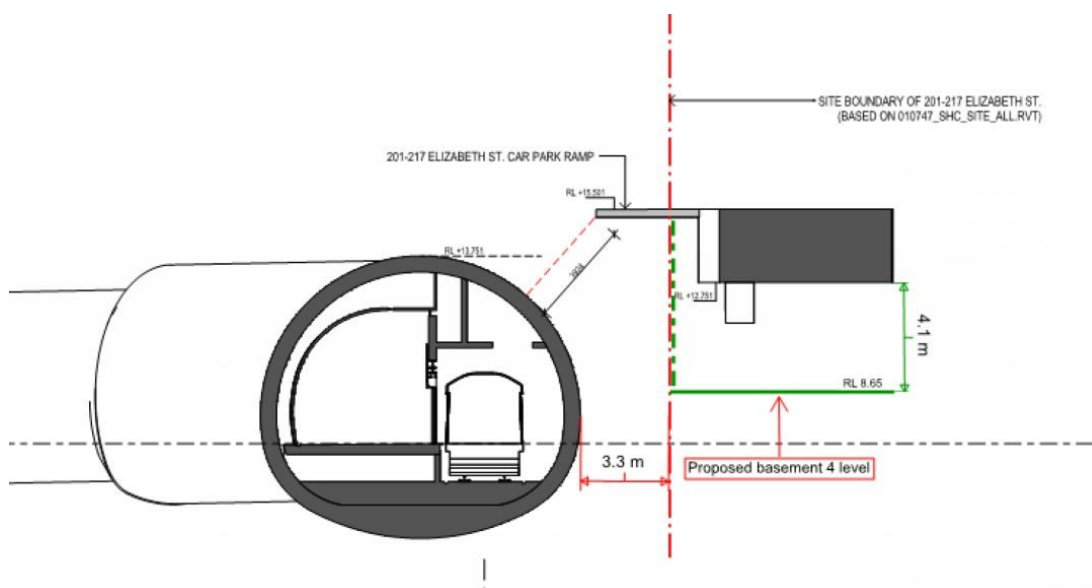


Figure 14 Indicative cross section through the development site and future Metro Station cavern

Source Concept DA Metro Corridor Statement

Contamination

The Phase I Environmental Site Assessment prepared for the site as part of the Concept (Stage 1) SSDA. The report concludes, that given the nature of the current site activities, previous and current land use of the site and surrounding area, the risk of contamination at the site is low. Overall it is considered that the site is suitable for the proposed development. In accordance with the recommendations of the Phase 1 assessment, a Phase 2 detailed assessment will be conducted prior to any construction activities on the site.

Geotechnical

The geology of the site, as mapped in the 1:250,000 Sydney Geological Series Sheets S1 56-5 and the 1:100,000 Sydney Geological Series Sheet (1983) indicates that the site is underlain by Ashfield Shale which comprises black to dark grey shale and laminate and is part of the Wianamatta Group. Ashfield shale lies directly on eroded Hawkesbury Sandstone and is often associated with the rock type common in the inner west and the north shore of Sydney. Further Geotechnical investigations will be made during the Stage 2 DA process.

2.2.4 Acoustic Conditions

The site is located in the dense urban environment of the CBD and is in close proximity to a variety of noise sources, including traffic and existing mechanical plant, that make for a noisy environment. A preliminary acoustic review was prepared as part of the Concept DA (refer to Concept DA Acoustic Report at **Appendix T**) and is a high-level review of noise sources that may impact upon the development and identifies the relevant noise criteria for future development of the site contained in the SDCP 2012 and the Infrastructure SEPP 2007.

As per Condition 13 of D/2017/349, a detailed acoustic assessment will be undertaken as part of the detailed DA (Stage 2). It is noted that these noise conditions may require innovative design solutions to achieve ADG objectives for natural ventilation of residential apartments in the case that acceptable internal noise levels can only be achieved with windows closed.

Competitors should refer to **Section 4.2.4 Residential Use Objectives** of the Brief for further information and requirements.

2.2.5 Utilities and Services

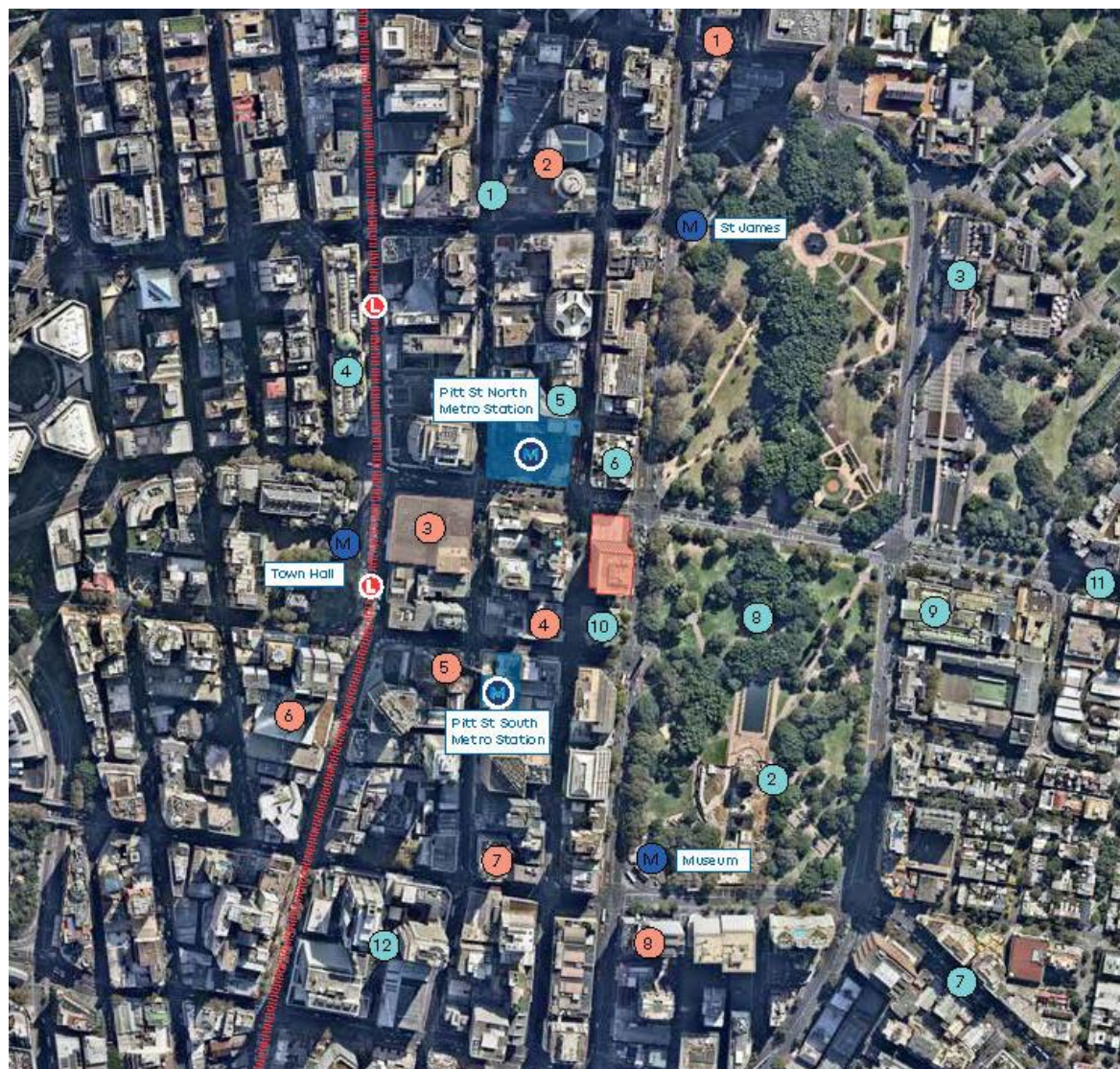
The site is currently serviced by the existing infrastructure and utilities. It is expected that the future redevelopment of the site will be capable of being serviced by the existing infrastructure, subject to detailed design and potential augmentation.

2.3 Site Context

The site is located in the south eastern part of the Sydney CBD in a locality characterised by high rise commercial and residential development. The site is directly opposite the western border of Hyde Park. The eastern boundary of the Sydney CBD is characterised by a range of commercial, residential and hotel uses fronting Hyde Park. On the Elizabeth Street side of Hyde Park development is characterised by predominantly commercial development, whilst development further to the east around Liverpool Street is characterised by high rise residential development to transition to existing residential development in Darlinghurst and along Oxford Street.

The character of the south eastern part of the Sydney CBD is currently in transition, with modern residential and commercial development being developed from older commercial and retail stocks. A number of recent development approvals have also been granted in the vicinity of the site, with the precinct moving towards a mixed-use neighbourhood.

Elizabeth Street and Castlereagh Street are both critical north/south bus routes, with Castlereagh and Pitt Street being key pedestrian north/south connections. Park Street is one of the primary east-west links in the southern portion of the CBD, connecting William Street and Kings Cross and the Eastern Suburbs, through the CBD, to Darling Harbour and the Sydney International Convention Centre, Exhibition Centre and Entertainment Centre precinct. The site is located in close proximity to Town Hall Station and the proposed Town Hall Square, Museum Station, as well as the proposed Pitt Street South CBD Metro Station. The site's locational context is shown at **Figure 15**.



LEGEND

- Site Boundary
- Future Sydney Metro Stations
- Future Light Rail Stops
- Existing Train Stations

EXISTING DEVELOPMENT

- ① Westfield Shopping Centre + Pitt St Mall
- ② Anzac War Memorial
- ③ St Mary's Cathedral
- ④ QVB
- ⑤ 161 Castlereagh St
- ⑥ 60 Park St
- ⑦ Oxford Street
- ⑧ Hyde Park
- ⑨ Australian Museum

- ⑩ 227 Elizabeth St
- ⑪ William Street
- ⑫ World Square

PROPOSED OR APPROVED DEVELOPMENT

- ① Galileo (160 King St)
- ② City Tattersalls Club (174 Pitt St)
- ③ Future Town Hall Square
- ④ Skyrise Cities (116 Bathurst St)
- ⑤ Greenland Centre (115 Bathurst St)
- ⑥ George St Cinemas (505 George St)
- ⑦ 338 Pitt St
- ⑧ One30 Hyde Park

Figure 15 Site's locational context

Source Ethos Urban

2.3.1 Hyde Park

Hyde Park is the one of the primary public open space areas within the Sydney CBD. Bounded by Elizabeth, Liverpool and College Street. It is the oldest park in Australia and was part of the area reserved by Governor Phillip in 1792 for the use of the town.

The area has been used for different purposes throughout the time: It was first used as a common for gathering firewood and grazing animals until its proclamation by Governor Macquarie in 1810. Then as a course for horse racing, and in the 1820s became a popular venue for cricket.

Its importance as a planned open space was envisaged by Francis Greenway with significant and imposing building (Sydney College in 1932, Lyon Terrace in 1841 and the Australian Museum in 1849-51). In 1954, the park was formalised with paths and plantings, and civic monuments were installed from 1957. The park was handed over to Sydney City Council in 1904 and a program of upgrading began, including the Archibald Fountain in 1932 and the Anzac Memorial to Australia's World War I soldiers which opened in 1934.

With just over 16 hectares of wide open space, Hyde Park is the lungs of the city and home for hundreds of large leafy trees. The park offers high quality landscape in the middle of the Sydney CBD. It is also hosting several events throughout the year such as the Sydney Food and Wine Fair, the week long aboriginal and Torres Strait Islander celebration and the very popular Sydney Festival.

The Hyde Park 'dress circle' is taking shape with multiple developments under construction or in the approval stage. The projects mainly incorporate apartments and hotel development as there is a strong demand from buyers to capture views over Hyde Park.



Figure 16 Surrounding development – Hyde Park

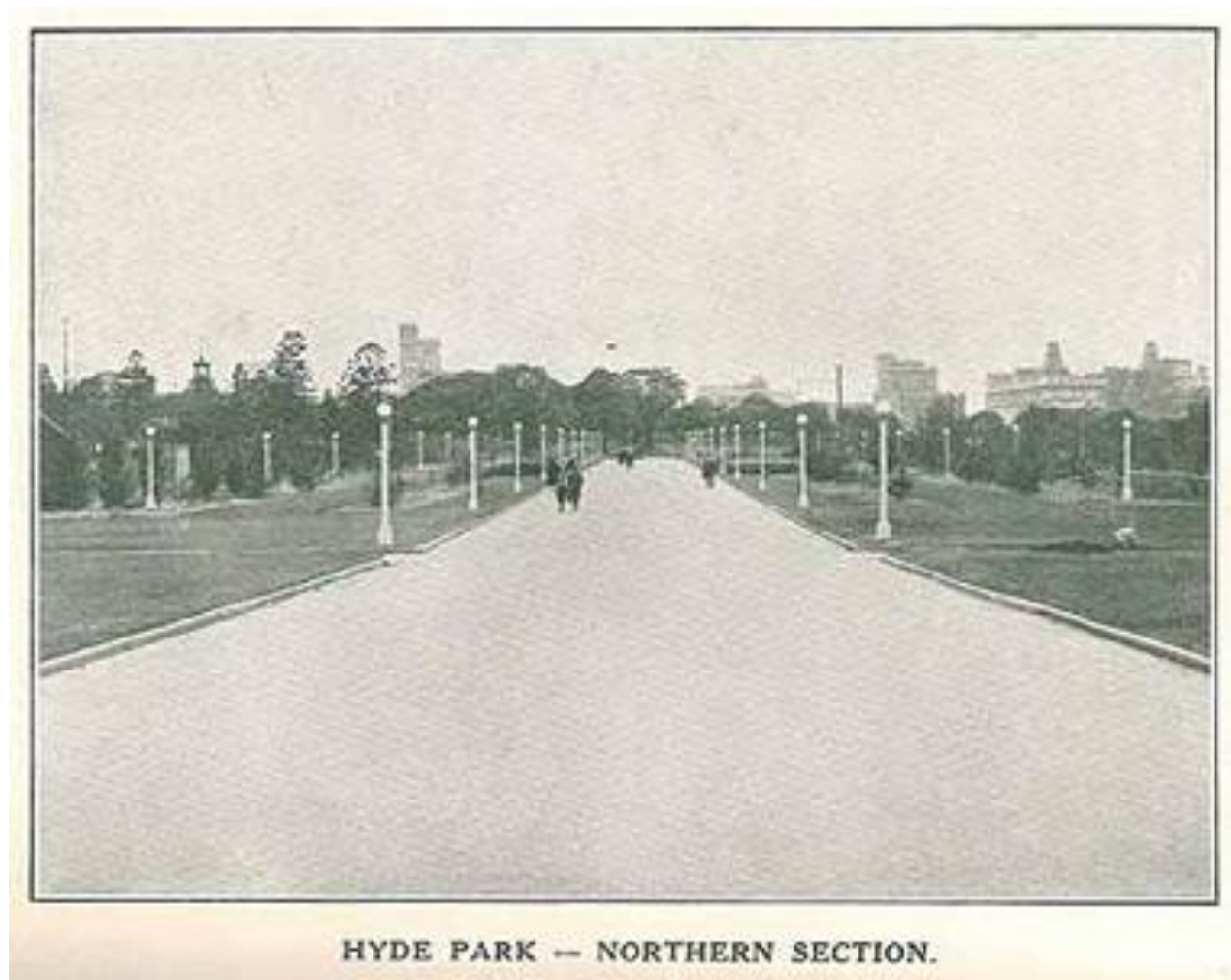


Figure 17 Hyde Park North after completion of the underground railway, 1930

Source: City of Sydney

2.3.2 Public Domain (Future Town Hall Square)

The site is in close proximity to the future Town Hall Square which aims to deliver a new civic plaza adjacent to Town Hall on George Street. This civic space will support the pedestrianisation of George Street in association with Sydney CBD and East light rail, as well as foster a pedestrian connection at street level between Town Hall and Pitt Street metro station.

Future Town Hall Square

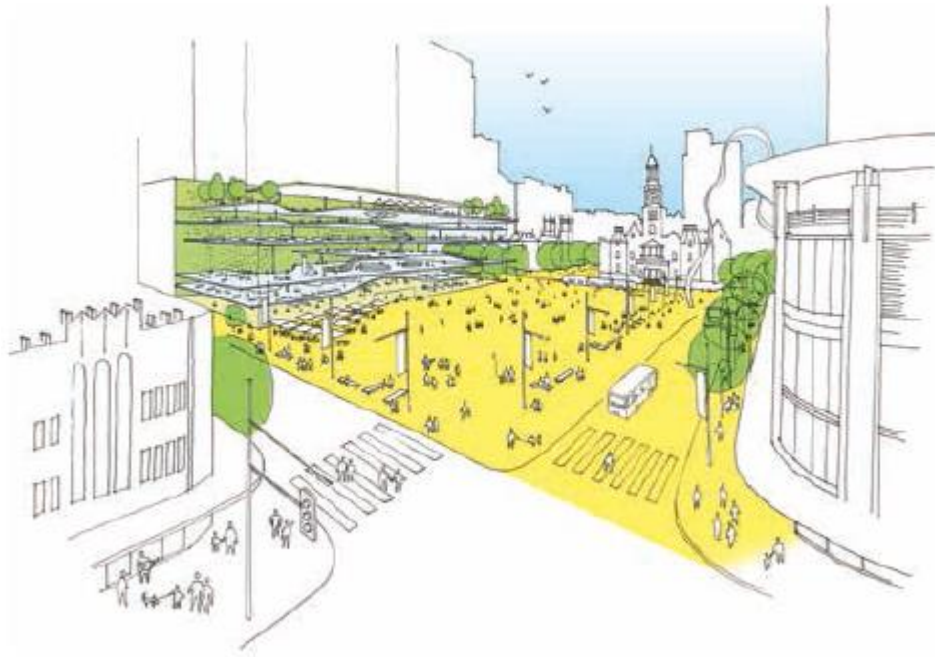


Figure 18 Sketch of future Town Hall Square looking down Park Street

Source: draft Central Sydney Planning Strategy



Figure 19 Artist impression of Cloud Arch by Junya Ishigami

Source: Creative City SydneySource/Notes

2.3.3 Key Public and Private Views

Public View Corridors

The existing development at 201 Elizabeth Street is a prominent feature when viewed from public spaces and is a key landmark from the eastern approach to the Sydney CBD, namely:

- Eastern approach via William Street, Darlinghurst (**Figure 20**);
- Direct eastern gateway at Museum (**Figure 21**);
- Across Hyde Park from Oxford Street (**Figure 22**);
- As a backdrop to Hyde Park at the Pool of Remembrance (**Figure 23**);
- As a backdrop to the Anzac War Memorial Hyde Park (**Figure 24**); and
- When viewed from Sydney Harbour (**Figure 25**).

It is noted that these images below do not reflect the approved envelope which was required to be modified in accordance with deferred commencement consent condition (2). All images are included in the Visual Impact Assessment at **Appendix S**.



Figure 20 Eastern approach via William Street, Darlinghurst

Source: Virtual Ideas



Figure 21 Direct eastern gateway at Museum

Source: Virtual Ideas



Figure 22 Across Hyde Park from Oxford Street

Source: Virtual Ideas



Figure 23 Hyde Park at the Pool of Remembrance

Source: *Virtual Ideas*

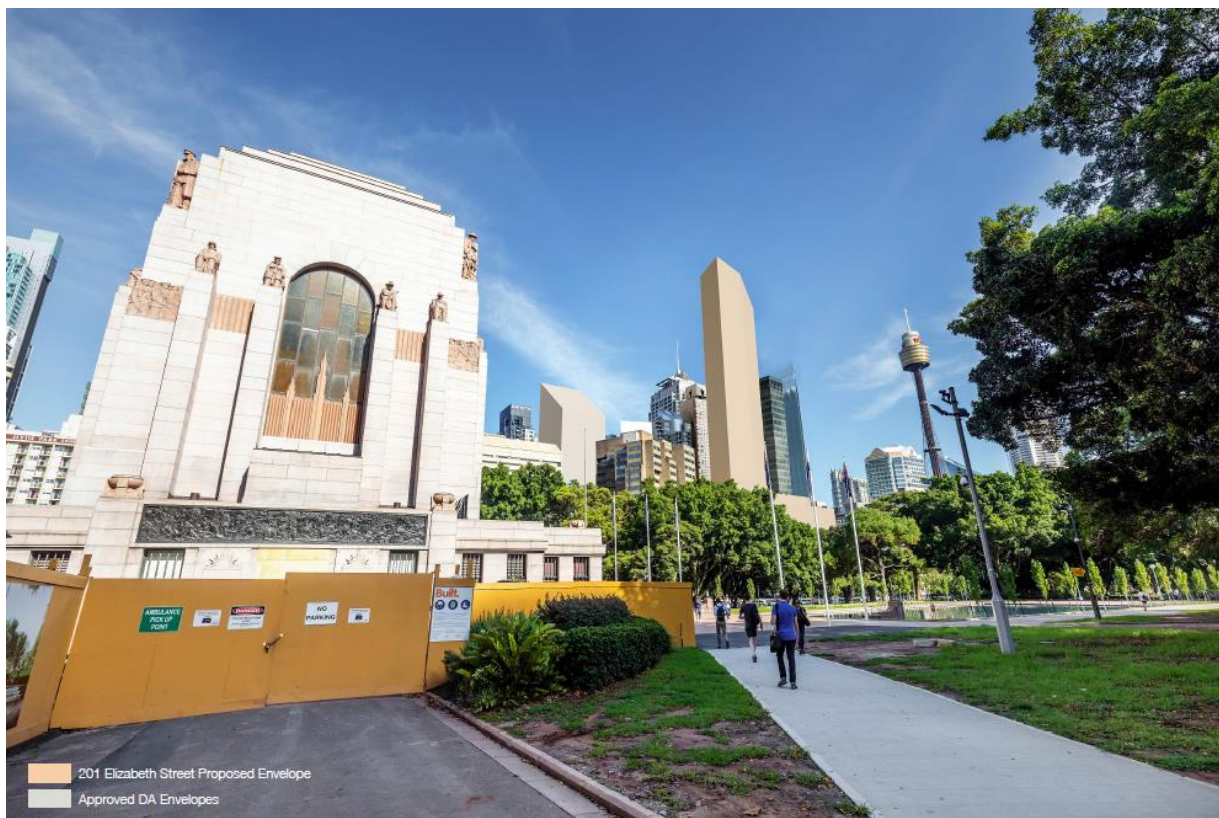


Figure 24 Anzac War Memorial Hyde Park

Source: *Virtual Ideas*



Figure 25 View from Sydney Harbour

Source *Ethos Urban*

Private Views

The impact of the approved building envelope on private views was a primary consideration in the assessment of the Concept DA. The tower form in the approved building envelope has been located deliberately to minimise view loss impacts from surrounding development.

Neighbouring the site are three existing residential buildings and a fourth residential building currently under construction:

- 'Park Regis' 27 Park Street, Sydney;
- 'Victoria Towers' 197 Castlereagh Street, Sydney;
- 'Century Tower' 343 Pitt Street; and
- 'Castle Residences' 116 Bathurst Street, Sydney (under construction).

Views from eastern and north eastern dwellings within these buildings have the potential to be affected by the redevelopment of 201 Elizabeth Street. View analysis was assessed in the Visual Impact Assessment (**Appendix S**) and Council's Assessment Report (Section 5.4 of **Appendix C**).

View impacts at lower levels occur primarily due to the podium element of the approved building envelope. The CSPC assessment report concludes that as the podium complies with the Hyde Park sun access plane, and the relevant street frontage provisions of the SDGP, the impacts on partial views arising from the podium are generally considered to be reasonable.

View impacts at upper levels have been managed by locating the tower form generally within the footprint of the existing building. This ensures that minimal change occurs to existing high quality views of Hyde Park, St Marys Cathedral and Sydney Harbour.

2.3.4 Existing Built Form and Streetscape

Elizabeth Street

Elizabeth Street has a predominant street frontage height of approximately 45 metres, with development set back above this height and generally aligned with the sun access plane prescribed in the SLEP 2012 with the exception of the site (201 Elizabeth Street) and 227 Elizabeth Street. The existing buildings at 201 Elizabeth Street and 227 Elizabeth Street are inconsistent with the predominant street frontage height as well as the continuous

colonnade/awning of Elizabeth Street. The existing Elizabeth Street streetscape is presented in **Figure 26** and **Figure 27**.

Park Street

Park Street does not set a strong defined street frontage height like Elizabeth Street. The shorter block length and the diversity of building forms results in a range of street frontage heights on the southern side of the street. The northern side of Park Street presents a more consistent street frontage height of approximately 20-25 metres. Generally, continuous awnings/colonnade is provided the length of Park Street to Town Hall. The existing Park Street streetscape is presented in **Figure 28**.

Castlereagh Street

In contrast to surrounding development, 201 Elizabeth Street and 227 Elizabeth Street do not provide a street frontage height to Castlereagh Street and these two buildings occupy the extent of the block from Park Street to Bathurst Street. Opposite the site, street frontage heights vary with a number of heritage items (see **Section 2.3.5** for further details) and the existing public car park. The existing Castlereagh Street streetscape is presented in **Figure 29**.



Figure 26 Elizabeth Street existing streetscape, looking south



Figure 27 Elizabeth Street existing streetscape, looking north



Figure 28 Park Street existing streetscape

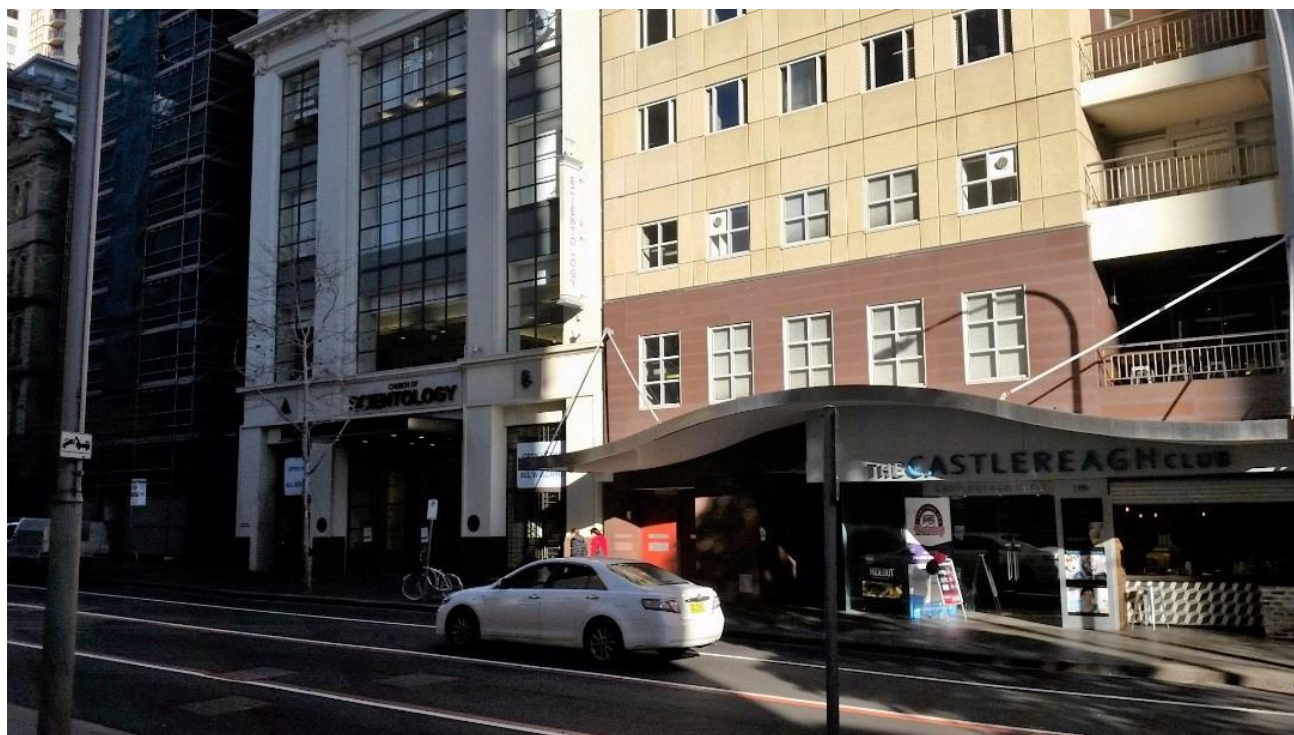


Figure 29 Castlereagh Street existing streetscape, opposite the site

2.3.5 European Heritage

The site is in close proximity to a number of heritage items (see **Figure 30**) listed in the SLEP 2012, namely:

- Item 1654: Hyde Park (local);
- Item 1742: Anzac War Memorial (State);
- Item 1741: Former tram shelter (local);
- Item 1709: St. Mary's Catholic Cathedral and Chapter House
- Item 1752: Municipal sewer vent (State);
- Item 1700: Former CENEH House (local);
- Item 1701: St George's Church (local);
- Item 1702: Porter House (local); and
- Item 1751: Former Australian Consolidated Press façade (local).

The Heritage Impact Statement prepared by Urbis and appended at **Appendix U** provides a detailed description of these items including each item's Statement of Significance.

The site is adjacent to "Governor's Domain and Civic Precinct" which is under the national Heritage Listing nomination. The draft National Heritage values, draft selected history and draft boundary map are available at <http://www.environment.gov.au/heritage/organisations/australian-heritage-council/national-heritage-assessments/governors-domain-and-civic-precinct-proposed-national-heritage-listing>

Competitors may access further historic information regarding Sydney Trove list in which the site is located using the following link: <https://trove.nla.gov.au/list?id=67440>

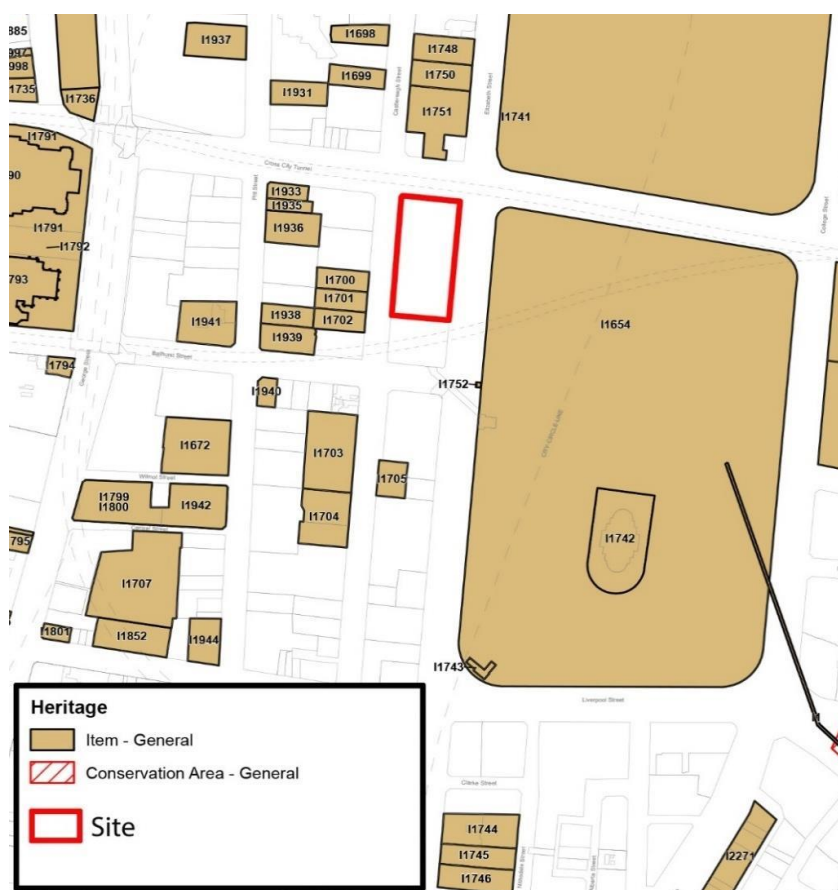


Figure 30 Extract of SLEP 2012 Heritage Map

Archaeology

An Archaeological Assessment for the site was undertaken by Urbis as part of the Stage 1 SSDA. Historical information indicates that the subject site was subject to several phases of development prior to the construction of the existing building. Additionally, the existing basement extends to a depth of RL. 12.80 (approximately 13.7 metres deep) and encompasses the entire lot. As such, the report notes that any evidence of previous development would have been completely removed or destroyed by previous excavation works, as well as associated construction.

As such, it is considered that the subject site does not have any potential to contain intact archaeological remains associated with earlier phases of development or use. Additionally, the development will not impact The Tank Stream, which is located approximately 540 metres to the northwest of the subject site. The report concludes there are no identified archaeological constraints or impacts associated with the Stage 1 SSDA.

2.3.6 Surrounding Development

The eastern boundary of the Sydney CBD is characterised by a range of commercial, residential and hotel developments from a variety of different periods and architectural styles. The area is beginning to undergo a transition to include residential buildings with a number of residential development applications recently approved within the vicinity of the site. Immediately surrounding the site:

- To the north: 11 storey commercial development at 60 Park Street
- To the south: 23 storey commercial development at 227 Elizabeth Street
- To the east: Hyde Park
- To the west: Commonwealth Bank with above ground car park, The Castlereagh Club, the Church of Scientology, and St George's Church.
- To the west: Residential properties at 197 Castlereagh Street and 27 Park Street.

Photos of surrounding development are included as **Figures 31-33**.



Figure 31 Surrounding development – Park Street



Figure 32 227 Elizabeth Street



Figure 33 Surrounding development – Castlereagh Street

2.3.7 Solar Access to Existing Residential Development

The site is located in close proximity to a number of existing (and under construction) residential buildings, namely:

- 27 Park Street (Park Regis);
- 197 Castlereagh Street (Victoria Towers); and
- 116 Bathurst Street (Castle Residences).

The residential overshadowing study prepared for the Concept DA (see **Appendix M**) demonstrates that the approved building envelope does not impact on existing solar access to residential apartments at 27 Park Street and 197 Castlereagh Street between 9:00am and 3:00pm on 21 June.

The residential overshadowing study also demonstrates that the approved building envelope will result in a 30 minute reduction in solar access to seven apartments at 116 Bathurst Street (approximately 5% of the total apartments) between 9:00am and 3:00pm on 21 June, however the total number of apartments within that development receiving the minimum two hours solar access remains unchanged.

Note: At the time of writing this brief, the Proponent acknowledges that the overshadowing analysis on adjacent residential buildings undertaken to assist Competitors to address overshadowing in their design submissions is preliminary in status. Reliance upon assumptions in this brief are for the purposes of the Competition only. Further work as well as consideration of other relevant matters will be required following the Competition and may affect or alter the assumptions contained in this brief.

Further design development will be required to respond to the relevant ADG objectives and provisions. Nothing in this brief is to infer or to be taken as an approval, agreement or endorsement by the City of Sydney. This report will in no way fetter the Council's determination in regards to compliance with the relevant objectives and provisions of the ADG or other planning controls.



CONCEPT DEVELOPMENT APPROVAL

3.0 Approved Concept Development

3.1 Development Summary

The Concept (Stage 1) SSDA was considered by the Central Sydney Planning Committee on 15 February 2018 and a deferred commencement consent was granted to D/2017/349. The approved development is State Significant Development as per Item 13, Schedule 1 of *State Environmental Planning Policy (State and Regional Development)* and detailed DA for the project will also be State Significant Development.

A numerical summary of the key attributes of the concept DA is provided in **Table 2** and the approved building envelope is shown in **Figure 34**. The stamped plans and notice of determination are provided at **Appendix A** and **Appendix B** respectively.

Table 2 Key development information

Component	Approved Building Envelope
Maximum height	<ul style="list-style-type: none"> • Tower roofline (top of the building): RL198.22 (AHD) • Podium maximum height (top of the podium): RL76.00 (AHD) • Podium parapet (podium roof level): RL69.89 (AHD)
GFA (<i>indicative scheme only</i>)	<ul style="list-style-type: none"> • Residential: 28,164m² • Hotel: 26,543m² • Retail: 4,845m² • Total: 59,552m²
FSR (<i>indicative scheme only</i>)	15.27:1
Basement (<i>indicative scheme only</i>)	<ul style="list-style-type: none"> • 4 levels • 266 car spaces • 560 bicycle spaces
Hotel rooms (<i>indicative scheme only</i>)	361
Dwelling yield (<i>indicative scheme only</i>)	<ul style="list-style-type: none"> • Studio: 14 • 1 B: 34 • 2 B: 144 • 3 B: 70

Note that GFA, FSR, basement levels, parking numbers, hotel room numbers and dwelling mix were not approved as part of the concept development consent. These numbers are indicative and were provided only for the purpose of the assessment of the Concept DA. The above details do not represent the target development objectives of this competition which are set out in **Section 4**.

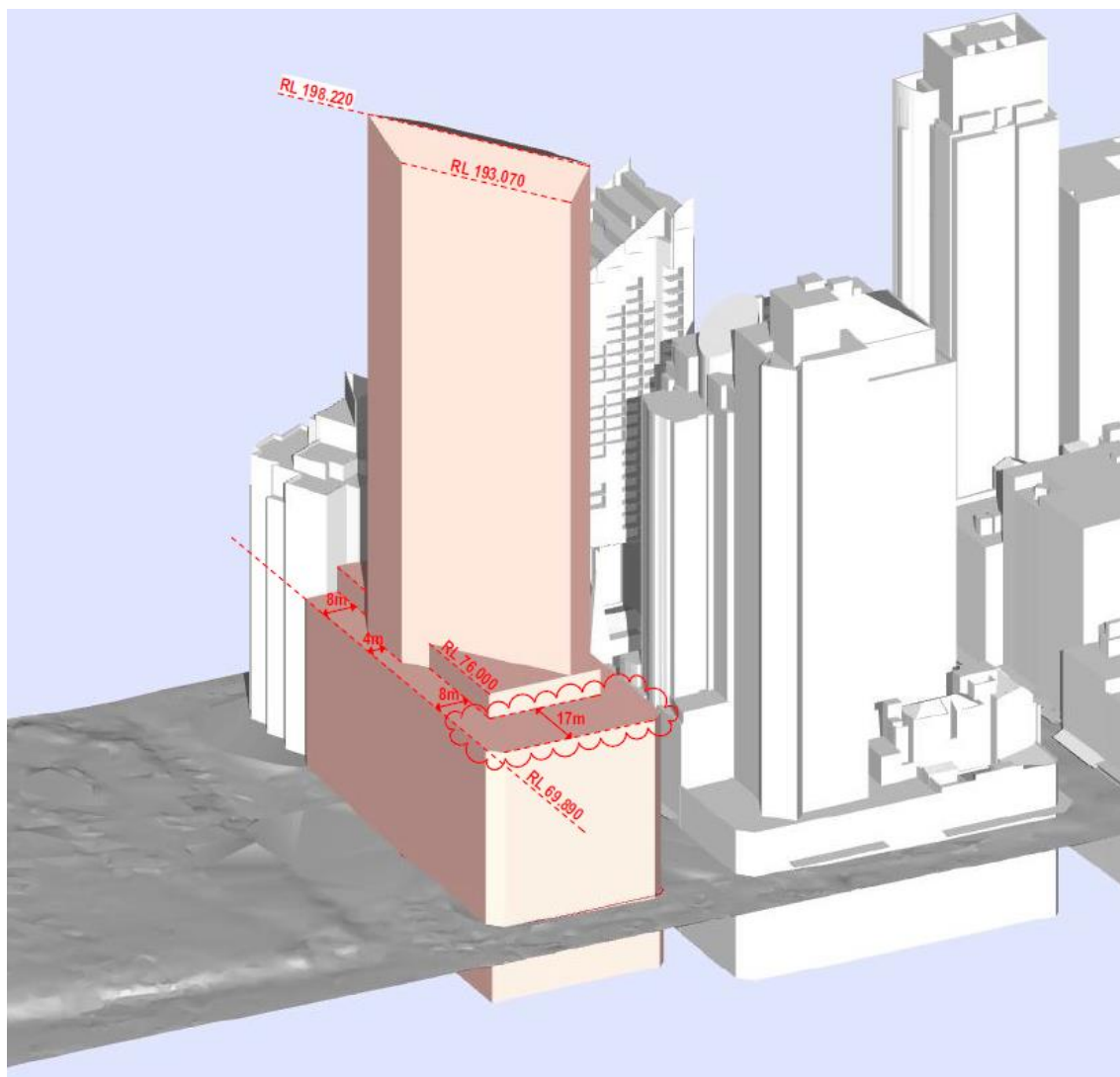


Figure 34 Concept DA approved building envelope

Source: FJMT

3.2 Design Excellence Strategy

The approved Design Excellence Strategy sets out the requirements for the design competition. The Design Excellence Strategy notes the following:

- An invited architectural design competition will be held.
- A minimum of five competitors will be invited.
- There will be a total of six jury members. Half the members nominated by the consent authority and half the members nominated by the proponent.
- The design competition will pursue up to 10% additional floor space under clause 6.21(7) of SLEP 2012.
- The competitive design process will achieve ecologically sustainable development targets for the development as set out in the concept development consent conditions.
- The architectural firm(s) of the winning scheme (as chosen via the invited design competition) is to be appointed as the Design Architect for the project and will perform this role until the completion of the project.

3.3 Relevant Conditions of Consent

The conditions of consent provide direction for the future detailed design of the building. Competitors are to respond to the Notice of Determination at **Appendix B** and **Section 4.0**. Selected key extracts from the consent are included below:

PART A – DEFERRED COMMENCEMENT CONDITIONS

(1) VEHICULAR ACCESS

Vehicular access arrangements for the site including the number and location of vehicle cross-overs are to be resolved to the satisfaction of Council's Director, City Planning, Development and Transport, and the TfNSW CDB Coordination Office in order to address the following requirements:

- (a) *Hotel pick up/drop off and car park/loading dock arrangements must ensure that impacts on general traffic, cyclists, pedestrians and street trees are minimised;*
- (b) *Vehicular access arrangements must not impact on the operation of the bus zone located on Castlereagh Street. In this regard there should be no reduction in the length of the existing bus zone;*
- (c) *No more than 2 vehicle cross-overs are to be provided;*
- (d) *The site must be configured to allow all vehicles to be driven onto and off the site in a forward direction;*
- (e) *All vehicles are to be wholly contained on site before being required to stop;*
- (f) *A preliminary car park and loading dock management plan is to be prepared which includes:*
 - a. *Swept paths of the largest vehicles entering and exiting the hotel pick up/drop off facility and car park/loading dock including coaches and waste collection vehicles;*
 - b. *Management of queuing along Castlereagh Street as a result of the proposed hotel pick up/drop off facility and car park/loading dock arrangement;*
 - c. *Details of alternate car parking locations and loading zones to redirect vehicles to ensure that the queuing of vehicles at the access to car park/ loading dock is avoided;*
 - d. *Management of incidents at the access to the hotel pick up/drop off facility and car park/loading dock;*
 - e. *Details of loading dock management are to be provided including anticipated service vehicle movements during peak periods;*
 - f. *Management of conflicts between cars accessing the car park and vehicle movements to/from the loading dock; and*
 - g. *Management of conflicts between vehicles accessing the site and pedestrian movements along Castlereagh Street.*

PART B – CONDITIONS OF CONSENT

(3) BUILDING HEIGHT

The height of the building must not exceed RL 198.22 (AHD) to the top of the building and RL 69.89 (AHD) to the parapet of the podium, and RL 76.00 (AHD) to the top of the podium.

(7) SUBSEQUENT DETAILED DESIGN TO BE CONTAINED WITHIN THE APPROVED ENVELOPE

Subject to other conditions of this consent, the building envelope is only approved on the basis that the future building design, including balconies, articulation, privacy treatments and services are contained wholly within the approved building footprint and envelope, and comply with the relevant planning controls.

(8) FLOOR TO CEILING HEIGHTS

The detailed design of the building subject to a subsequent Development Application shall meet the minimum floor to ceiling height controls in accordance with the Sydney Development Control Plan 2012 (Clause 4.2.1.2 – Floor to ceiling heights and floor to floor heights).

(9) SUN ACCESS MODELLING

Sun access modelling is to be submitted with the Stage 2 Development Application confirming that those parts of the development that exceed the Hyde Park west sun access plane will achieve a minimum 50% reduction in overshadowing of Hyde Park between 12pm and 2pm on 21 June.

(12) RESIDENTIAL LAND USE

(a) Any subsequent Development Application for detailed design and construction of the development must be designed to comply with the principles of 'State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development', the guidelines of the Apartment Design Guide (ADG) and the provisions of the Sydney Development Control Plan 2012.

(b) The development shall be designed to be compliant with the apartment mix requirements of Section 4.2.3.12 of the Sydney Development Control Plan 2012.

(14) COMMUNAL OPEN SPACE

All subsequent Development Applications involving the development of a residential flat building or mixed use building are required to provide an area equal to 25% of the development block site area as communal open space.

(17) REFLECTIVITY

Any Development Application for the detailed design and construction of the development must demonstrate that the visible light reflectivity from building materials used on the facade of the building does not exceed 20%.

(24) PUBLIC DOMAIN CONCEPT PLAN

A Public Domain Concept Plan is to be submitted with any Development Application for the detailed design and construction of the development. The plan should clearly show the integration between the building and the public domain including all pedestrian and vehicular access points including the pedestrian connection to Museum Station.

The Public Domain Concept Plan must document all works required to ensure that the public domain complies with the City of Sydney's Public Domain Manual, Sydney Streets Design Code and Sydney Streets Technical Specification, including requirements for road pavement, traffic measures, footway pavement, kerb and gutter, drainage, vehicle crossovers, pedestrian ramps, lighting, street trees and landscaping, signage and other public domain.

(31) ON SITE LOADING AREAS AND OPERATION

All loading and unloading operations associated with servicing the site must be carried out within the confines of the site, at all times, and must not obstruct other properties/units or the public way.

(32) SERVICE VEHICLES

(a) Any Development Application for the detailed design and construction of the development must include swept path diagrams to demonstrate that a 9.25m Council garbage truck and a small rigid delivery vehicle can safely enter and exit the site in a forward direction.

(b) Courier spaces and loading docks must be located close to the service entrance and away from other parking areas.

(c) Adequate space must be provided to allow manoeuvring and turning of different sized vehicles within the designated loading area. The design, layout, signage, line marking, lighting and physical controls for all service vehicles must comply with the minimum requirements of Australian Standard AS 2890.2 – 2002 Off-Street Parking Part 2: Commercial vehicle facilities.

3.4 Key Assessment Issues

The Secretary's Environmental Assessment Requirements (SEARs) for the project were issued 16 December 2016, for the assessment of the Concept DA.

The State Significant Development Assessment Report prepared for D/2017/349 identified the following key planning issues:

- Built form and urban design;
- Overshadowing of Hyde Park;
- View loss and visual impacts;
- Transport, parking, traffic and access; and
- Construction impacts.

Each of these key issues were resolved in the assessment process, the approved building envelope plans (**Appendix A**) and the relevant conditions of consent (**Appendix B**). A copy of the Assessment Report discussing these key issues is provided at **Appendix C**.



COMPETITION OBJECTIVES

4.0 Competition Objectives

4.1 Planning Objectives

4.1.1 Key Planning Objectives

- The planning objectives for this design competition are to achieve consistency with the concept development consent (D/2017/349) and the relevant planning controls, including:
 - the approved building envelope that the architectural form is to be contained within.
 - The relevant conditions of consent as set out in **Section 3.3**.
 - State Environmental Planning Policies (SEPPs):
 - State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development (SEPP 65) and the accompanying Apartment Design Guide (ADG);
 - State Environmental Planning Policy (Infrastructure) 2007 and ‘Development near Rail Corridors and Busy Roads – Interim Guideline’;
 - Sydney Local Environmental Plan 2012 (SLEP 2012).
 - Sydney Development Control Plan 2012 (SDCP 2012).
 - Other relevant City of Sydney and applicable State plans and policies.
- Non-compliances with the above plans and policies are discouraged by the proponent and the Consent Authority. Any other instances of non-compliance with a planning control or the concept development consent must be justified against the objectives and strategic directions of the relevant controls. The planning justification for any non-compliances must be included in the Statement of Compliance as part of the competitor’s submission (refer to **Section 6.0**).
- With regard to the planning controls and policies above, schemes should allow for an additional 10% floor space being awarded, where design excellence is considered to have been achieved as set out in clause 6.21(7) of the SLEP 2012. The provision of additional floor space must be justifiable in terms of planning and architectural merit grounds having regard to the objectives and requirements of this brief.
- The design should also complement the City of Sydney’s:
 - Street improvement programme.
 - Public domain improvements.
 - Local safety strategy initiatives.
 - Traffic management initiatives.

A summary of the key planning controls applying to the site, in a Statement of Compliance (to be completed by competitors), is provided at **Appendix G**. Documents relating to the statutory framework and Council’s policies can be viewed at:

www.cityofsydney.nsw.gov.au

www.legislation.nsw.gov.au

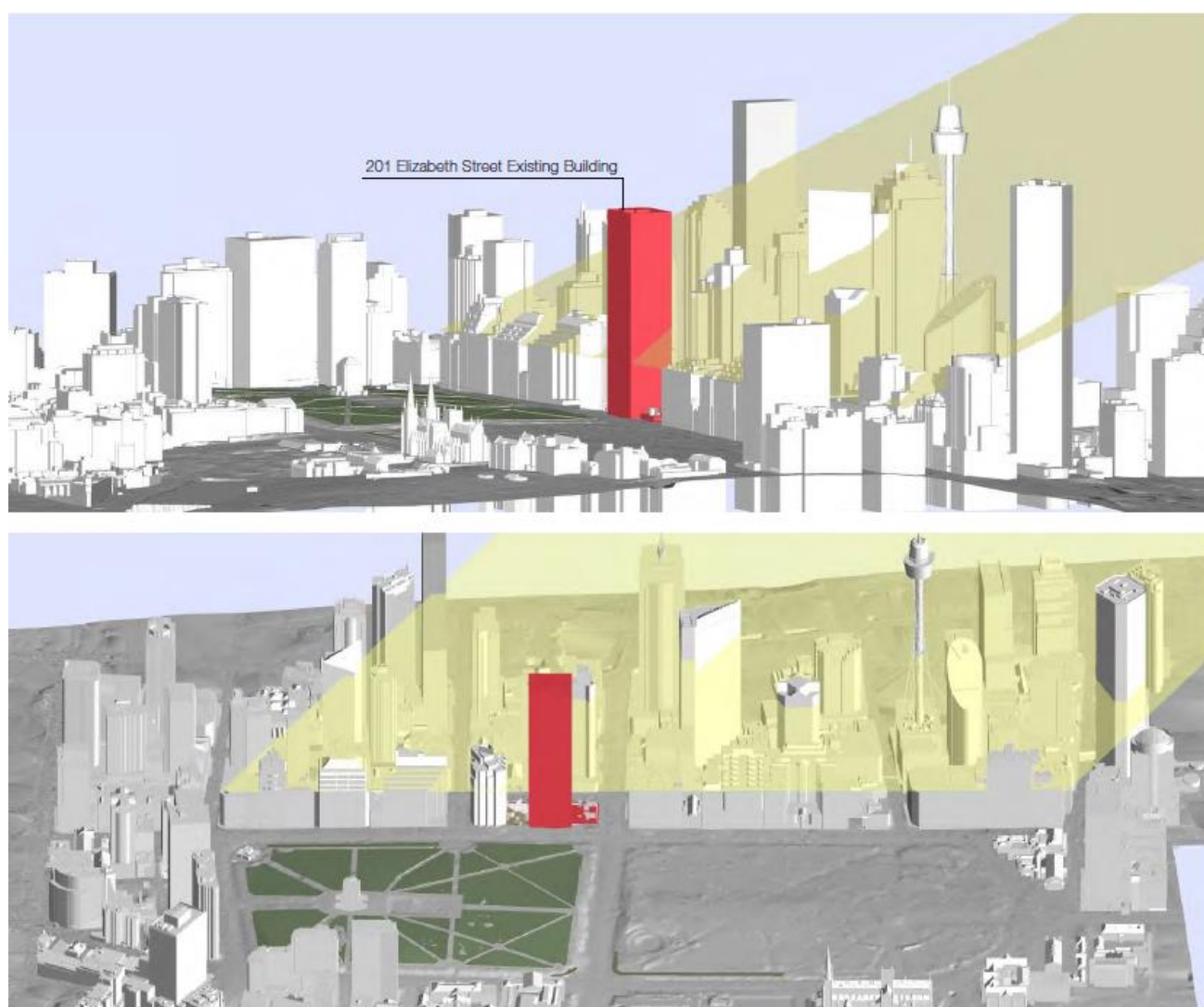
4.1.2 Overshadowing of Hyde Park

All submissions must achieve a minimum 50% reduction in shadow cast by the existing building on Hyde Park between 12pm and 2pm on 21 June. Locating built form wholly within the approved building envelope will ensure that the 50% reduction in shadow is achieved.

The method of calculating the reduction in overshadowing is provided at **Appendix M**. As a baseline, the shadow reduction achieved by the approved building envelope is set out in **Table 3**. All entries must achieve or exceed this reduction.

Table 3 Reduction of shadow based on approved building envelope

Time	Existing Condition	Approved Envelope
12:00	64m ²	0m ²
12:30	4,115m ²	2,593m ²
13:00	7,431m ²	4,087m ²
13:30	8,578m ²	3,487m ²
14:00	6,749m ²	2,913m ²
Total	26,937m²	13,434m²
Percentage	100%	49.87%



4.1.3 Building Height

Building height is to be maximised within the overshadowing constraints but must not exceed:

- RL198.22 (AHD) to the tower roofline (top of the building);
- RL 69.89 (AHD) to the parapet of the podium (podium roof level); and
- RL 76.00 (AHD) to the top of the terrace envelope (terrace roof level).

As per the approved building envelope shown in **Figure 35**. The ultimate building design, including services, balconies, shading devices and the like must be entirely within the approved envelope.

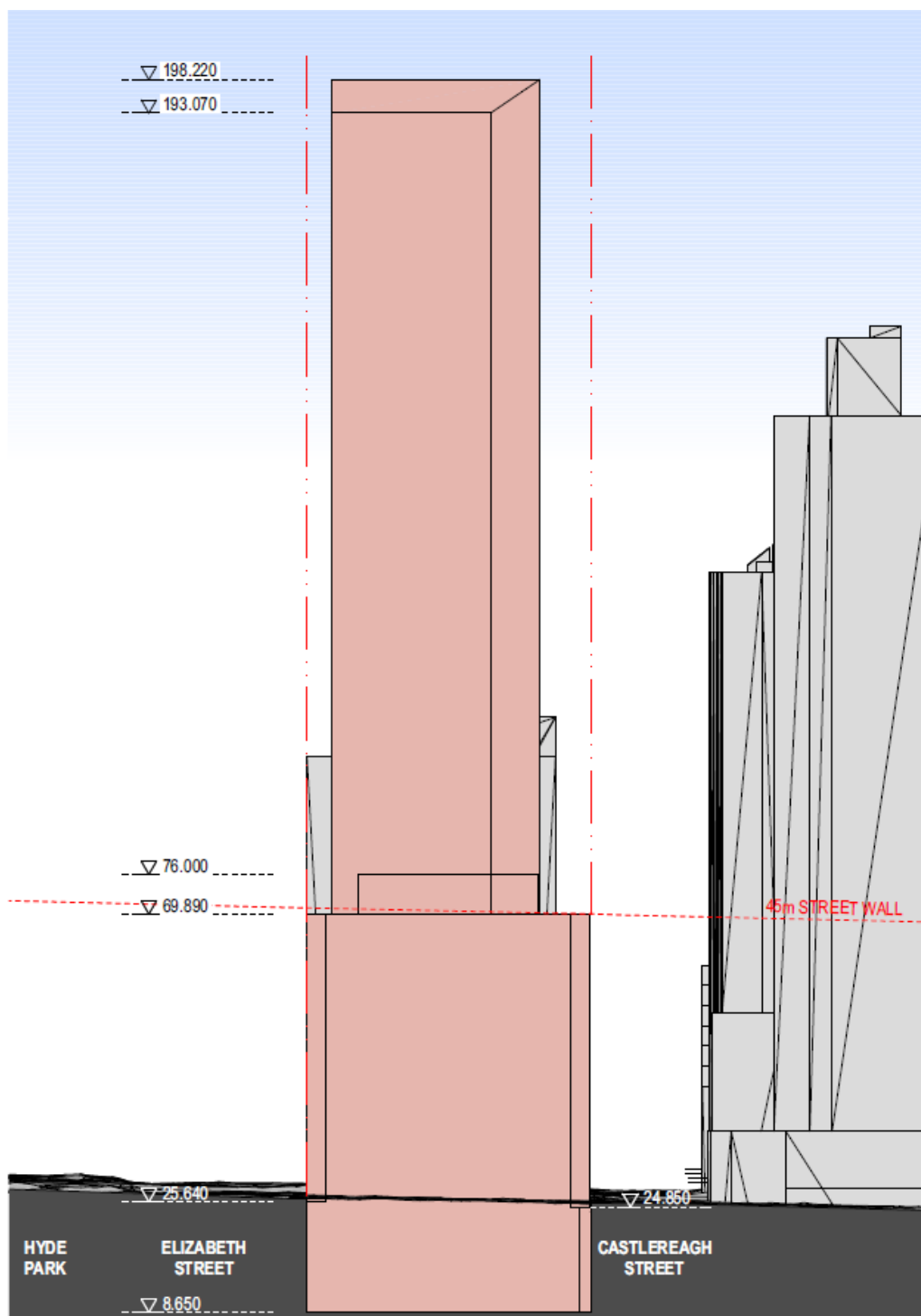


Figure 35 Approved maximum building height (shown on Park Street elevation of approved building envelope)

4.1.4 Floor Space Ratio

Design a building which is compliant with the maximum floor space ratio for the site under the SLEP 2012, namely:

- Base floor space: 8:1
- Accommodation floor space:
 - 6:1 for residential accommodation, serviced apartments, hotel accommodation, community facilities or centre-based child care facilities uses;
 - 4.5:1 for office premises, business premises, or retail premises uses;
 - Reduced proportionally based on the amount of floor space utilised by the specified land use
- Up to 10% additional floor space in addition to the above if the consent authority is satisfied that the building demonstrates design excellence.

A floor space ratio calculator is provided to assist competitors in the Area Schedule Template at **Appendix F**.

4.1.5 Tower Setbacks

All competition submissions are to be consistent with the setbacks established in the approved building envelope and shown at **Figure 36**.

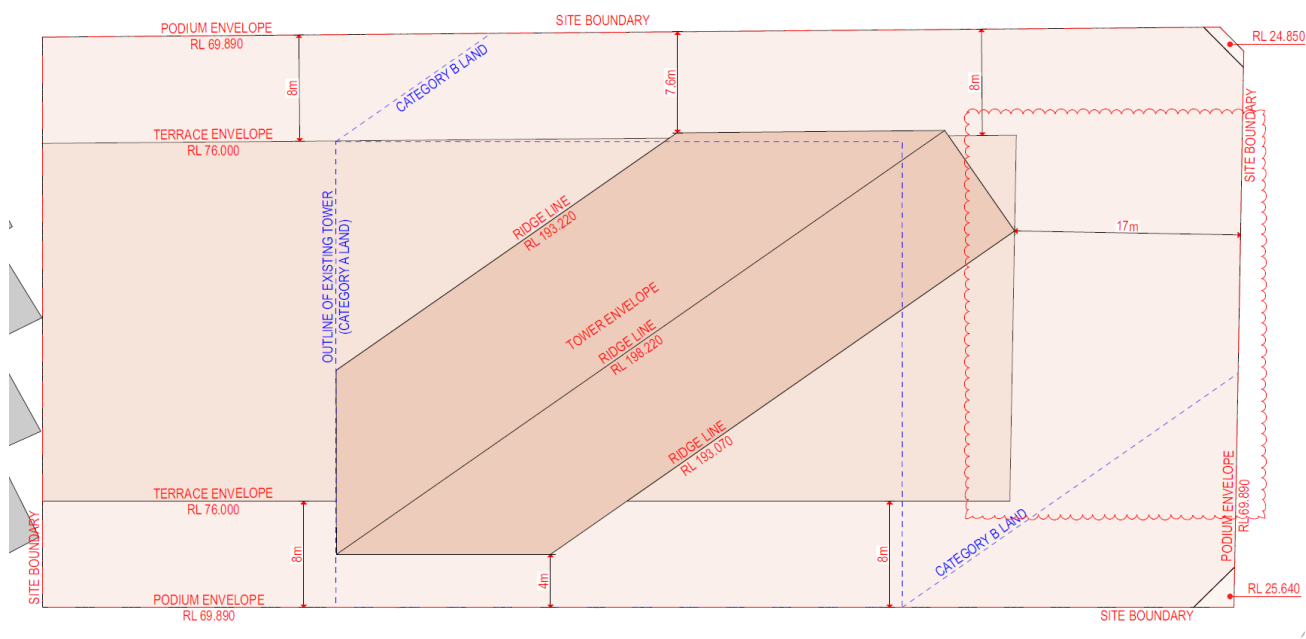


Figure 36 Setback requirements as per approved building envelope

4.1.6 Floor to Ceiling Heights

The following floor to ceiling heights must be achieved for all land uses:

- Retail: 6.5m for ground floor retail
- Hotel: 2.8m for hotel rooms. 8m for ballroom.
- Residential: 2.8m in all habitable rooms (including kitchens)
- Floor to floor heights of 3200mm are recommended to fulfil the requirements above for both residential and hotel components.

4.1.7 Residential Amenity

All competition submissions must be capable of achieving the objectives of Part 3 and Part 4 of the ADG. Particular attention should be directed to:

- Objective 3B-2 Orientation
- Objective 3D-1 Open Space
- Objective 3F-1 Visual Privacy
- Objective 4A- 1 Solar and Daylight Access
- Objective 4B-1 Natural Ventilation

4.2 Design Objectives

4.2.1 Key Design Objectives

The redevelopment of the site will deliver a landmark building which will act as the gateway between the East and the Sydney CBD. Key design objectives include:

- Achieve design excellence as defined in Clause 6.21(4) of the SLEP 2012 by:
 - A tower form that responds to the key site characteristics and the gateway location of the site;
 - Improving the public domain and ground plane;
 - Reducing overshadowing of Hyde Park by a minimum 50% from the existing building;
 - Including world-class hotel facilities;
 - Maximising residential amenity;
 - Achieving the ESD objectives for the project; and
 - Ensuring built form conforms with the approved building envelope for the site. Competitors are discouraged to change the building envelope unless it justifies a better design outcome.
- A vibrant building which maximise public values and contributes to the wellbeing of individuals and the community.
- A development that improves the existing public domain and the prioritisation of pedestrian activity at ground level.
- Consider the importance of views to the site from key locations in Sydney CBD.
- A building that makes a positive contribution to the Sydney CBD skyline which responds to the eastern gateway to the CBD and the backdrop of Hyde Park.
- A tower form that minimises private view loss and overshadowing of existing residential dwellings.
- A residential apartment development that achieves a high level of residential amenity particularly in relation to solar access, prime views and communal facilities.
- Compatible response to the surrounding area in terms of façade treatments, articulation, massing and architectural character.

- A range of uses that complement the changing neighbourhood and the current and future market demands, including a 5-star hotel rating with complementary services and amenities.
- A development that responds to the existing and planned transport infrastructure.

4.2.2 Ground Plane Objectives and Site Access Arrangements

Overall, the project aims to deliver an improved public domain outcome for the site, prioritising pedestrian access.

Public Domain Interface

- Establish a vibrant public domain, promoting uses that encourage fine grain activation of Elizabeth, Castlereagh and Park Streets.
- Allow for an orderly ground floor plane which accommodates hotel lobby facilities, active retail uses, residential lobby and vehicle access.
- Vehicle access and hotel drop-off should not dominate the public domain.
- The design and location of uses at ground floor will be required to consider and address the change in existing ground level between the Castlereagh Street frontage and Elizabeth Street frontage of the site.
- The ground plane interface will act as the primary connector to upper levels of the development. Appropriately scaled openings are recommended to encourage movements.
- Articulate the podium frontages to Elizabeth, Park and Castlereagh Streets to achieve a fine-grain built form.
- Identify opportunities for the integration of public art in publicly accessible and publicly visible locations.
- Continuous awnings are to be provided on the Park Street.
- No continuous awning is to be provided on Elizabeth Street. Any awning is to be limited to entrances.

Pedestrian Environment Objectives

- Provide an at-grade through-site pedestrian connection between Castlereagh Street and Elizabeth Street. The through site link is required to be in an accessible location and expected to be undercover, with a clear height of at least 6m and a minimum width of 6m.
- Through-site link must be designed in accordance with Section 3.1.2.2 of SDCP 2012.
- The lower ground pedestrian through-site pedestrian connection to Museum Station, utilising the existing access via 227 Elizabeth Street must be maintained. The lower ground pedestrian arcade is expected to accommodate a range of active retail uses supporting the pedestrian connection. Refer to plans of existing development at 227 Elizabeth Street for the location of pedestrian access points at the site boundary.
- Reinstate pedestrian priority at ground level at the site boundary interface of the site.
- Consider opportunities for casual dining associated with ground floor retail uses, provided that wind comfort criteria can be achieved.
- Lower ground design should maintain the opportunity to provide a potential future connection with Pitt Street Metro Station.

Vehicle Access

- A hotel drop-off facility is to be provided at ground level with entry and exit via Castlereagh Street with a maximum of two driveway crossovers.
- The drop-off area is to accommodate set down for up to four vehicles (B99) or one coach (14.5m in length) and to facilitate all loading on site without any queuing onto Castlereagh Street. The drop-off area is to allow for a standard vehicle to pass another stationary vehicle.
- Vehicle access to the basement is to be provided within the maximum two driveway crossover allowance.
- The design of vehicle access must prioritise pedestrian safety and urban design outcomes.
- The design of vehicles must not negatively impact the bus zone and waiting area on Castlereagh Street.

- Driveway design is to be consistent with the requirements of Section 3.11.11 of SDCP 2012, the Australian Standard AS/NZS 2890.1 Parking facilities Part 1: Off-street car parking, AS/NZS 2890.2 Parking facilities Part 2: Off-street commercial vehicle facilities and AS/NZS 2890.6 Parking facilities Part 6: Offstreet parking for people with disabilities.
- Existing vehicle access must be maintained to the basement of 227 Elizabeth Street. Refer to plans of existing development at 227 Elizabeth Street for the location of pedestrian access points at the site boundary.

4.2.3 Built Form Objectives

Overall, the built form of design competition entries should accord with the approved building envelope plans.

Podium Form Objectives

The podium is to provide for hotel uses (rooms and associated facilities), retail uses as well as opportunities for residential and hotel facilities at podium rooftop level.

- Podium elements are expected to be built to the boundary at the street frontage. This aims to restore the street wall typology of Castlereagh Street and Elizabeth Street which is broken by existing development on the block.
- Separation and relief is required at the property boundary interface with 227 Elizabeth Street, taking into consideration privacy and daylight access of occupants in either developments, particularly at ground level & first floor level where the existing building line of 227 Elizabeth Street extends all the way to the common boundary between 201 and 227 Elizabeth Street. Refer to survey information provided at **Appendix D** and **Appendix O**.
- The length of the podium along Elizabeth and Castlereagh Street is to be relieved by modelling that interprets nineteenth century subdivision patterns and historical development on the site.
- Any structures or landscaping located on the upper level of the podium (above RL 69.89) are to be located and designed with regard to view sharing and privacy of adjoining residential development at 27 Park and 197 Castlereagh Street.
- Design consideration should be given to the setting of the podium on the boundary of Hyde Park and the relationship or expression of the development to the green space adjoining.
- The design of the podium is to ensure that significant views to and solar access to the sandstone facade of St Georges Church at 201A Castlereagh Street are maintained.
- The podium should incorporate high quality materials including 'Yellowblock' sandstone quarried locally in the Sydney basin.
- Podium rooftop areas are anticipated to accommodate hotel facilities and separate residential communal open space.
- Podium rooftop design is to consider the landscape objectives at **Section 4.2.6**.
- The podium should provide protection to users of the podium top areas to the tower from falling objects from the tower above.
- The podium design will need to consider pedestrian wind comfort levels and address wind impacts of the tower design. Additional information is provided at **Appendix R** and advice can be sought during the competition from the technical advisor in accordance with **Section 5.8** of this brief.

Tower Form Objectives

- The tower is to provide for residential apartments.
- Portions of the tower that exceed the Hyde Park sun access plane must achieve a 50% reduction in shadow cast on Hyde Park (refer to **Section 4.1.2**).
- A slender tower form is to be located wholly within the approved building envelope.
- Maintain the tower setbacks established in the approved building envelope plans provided at **Attachment A**.
- The tower form must promote residential amenity including solar access and iconic views to the north east.

- The tower form is to manage acoustic and visual privacy, as well as outlook from neighbouring residential and commercial properties surrounding the site.
- The architectural form and expression of the building should allow 201 Elizabeth Street to be understood as a distinct and independent architectural element in the Elizabeth and Castlereagh Street streetscapes.
- Tower architecture to have appropriate vertical and horizontal articulation to enhance scale.
- Tower form is to be strongly connected and grounded from the podium to the street level.
- The materiality of the tower is to respond to its context in the city skyline, to support its articulation from the building's podium and also to form a cohesive, distinctive landmark.
- Rooftop plant is to be fully concealed and integrated into the roof form of the building and within the approved building envelope. Parapets are to conceal all services and plan and provide an architectural resolution to the top of the building.

4.2.4 Land Use Design Objectives

The development is to incorporate a hotel component targeting a minimum 5-star rating, high quality boutique residential apartments, and complementary retail offering. A summary of the desired land use mix is provided in **Table 4**.

Table 4 Competition target land use mix

Land Use	Target GFA (m ²)	Target FSR	Indicative Apartments/Rooms
Residential	30,567	7.84:1	298
Hotel	27,292	6.99:1	410
Retail	2,001	0.51:1	Lower Ground, Ground floor with mezzanine
Total	59,860	15.34:1	

Note: The target yields above are provided to competitors as a guide. Strict compliance is not required. The GFA and FSR are consistent with the floor space ratio controls apply to the site (inclusive of the additional 10% which may be awarded if design excellence is achieved) as described in Section 4.1.4 of this Brief.

Retail Use Objectives

- Retail land uses should aim to complement both hotel and residential uses within the development as well as the existing retail offering surrounding the site.
- Retail opportunities at ground level should aim to provide fine grain activation to Park Street, Castlereagh Street, Elizabeth Street and the proposed pedestrian through site connection.
- The retail design is required to maintain pedestrian connection to 227 Elizabeth Street lower ground retail and Museum Station.
- Retail tenancies are to maintain a flexible layout to ensure the long term changing needs of tenants can be accommodated within the site.
- Volume and height of retail spaces should enable flexibility in future design and use.
- Ensure amenities are provided for staff and patrons to suit the needs of a range of potential tenants, including food and beverage and licensed restaurants and bars.
- The range of potential future retail uses include fashion, casual dining, cafes, small bars and creative community spaces.

Residential Use Objectives

- Provide a high standard of residential amenity across a variety of dwelling types (1, 2 and 3+ bedroom dwellings), with particular attention to solar access, natural ventilation, views and outlook and visual and acoustic privacy that is capable of achieving the objectives of the ADG.

- Residential apartment layouts should prioritise apartments oriented to the east, north and west to take advantage of solar access and primary views. The number of apartments orientated toward existing neighbouring development should be minimised.
- The residential component of the development shall be designed to be compliant with the maximum number of apartments off a circulation core on a single level and to provide daylight and natural ventilation to common circulation spaces, in accordance with Objective 4F of the ADG.
- No residential apartments are to be provided within the podium levels of the building. Residential apartments must not be provided below RL 66.62.
- Provide appropriately separated access and servicing arrangements.
- The residential component of the development shall be provided with an area of communal open space in accordance with the requirements of both the ADG and SDCP 2012. This area will be for the exclusive use of residents.
- The development shall be designed to be compliant with the apartment mix requirements of Section 4.2.3.12 of the SDCP 2012.
- Residential facilities are to include a pool and gym for the exclusive use of residents. These facilities may be co-located with similar facilities provided in association with the hotel component.
- The residential component of the development shall be provided with an acoustically isolated Music Practice Room(s) for the use of future residents of approximately 20 sqm (rate 1 per 150 units or 2 rooms where over 200 units) and which double as common room(s). Music Practice Room(s) are to be co-located with communal open space and remain as common property.
- Provide suitable access and security in accordance with the principles of CPTED.
- Maximise views in all directions, in particular to the north and east to Hyde Park and Sydney Harbour. Orient living spaces toward key views. Where possible, main bedrooms and balconies should be oriented to available views.
- Maximise unimpeded views where possible, however acoustic and visual privacy consideration should be balanced with view opportunities.
- Design useable balconies or wintergardens that appropriately account for wind conditions and maintain natural cross ventilation.
- Achieve visual privacy within common residential areas and individual apartments.
- Achieve acoustic privacy by considering location of communal areas, plant equipment and party walls in relation to sensitive receivers.
- Consider external noise sources in the planning and design process, including tensions between achieving requisite internal noise levels versus ADG natural ventilation objectives. Any acoustic measures to reduce noise impacts from existing or planned external sources must maintain natural ventilation to habitable rooms. Competitors should refer to the design guidance contained in Sections 4B, 4H and 4J of the ADG and SDCP provision 4.2.3.11.
- Any subsequent DA for the detailed design of the building must consider the impacts of any external noise sources on the ability of the residential component of the development to achieve the required internal noise levels with windows open. Refer to **Section 2.2.4** of this Brief.

Note: Given the preliminary understanding of the site's acoustic conditions, reliance upon the assumptions in this Brief is for the purposes of the Competitive Process only. Further acoustic investigations will be required following the Competition and may effect or alter preliminary assumptions and subsequent design development.

- Setback bedrooms are not acceptable. Competitors are to refer to SDCP provision 4.2.3.14 relating to apartments with setback bedrooms which states that the design excellence bonus will not be awarded where a building includes apartments with setback bedrooms.
- Structure should not compromise apartment amenity. Positioning of columns and structural walls must be carefully considered to avoid compromising the apartments views, natural light, aspect or layout;

Hotel Use Objectives

- Create a high quality and spatially efficient hotel design capable of achieving a minimum 5-star rating.
- Hotel and residential apartments must not co-exist on the same floor in accordance with Section 4.4.8.5 of SDCP 2012.
- The hotel component is expected to accommodate approximately 27,000-28,000m² of GFA (inclusive of hotel facilities) and provide 395-420 keys.
- Hotel rooms area to achieve natural ventilation and visual privacy both internally and externally.
- Hotel suites are not capable of conversion to serviced or residential apartments.
- Hotel accommodation is to comply with the relevant provisions of Section 4.4.8 of SDCP 2012.
- Hotel lobby and concierge service associated with hotel drop-off.
- The design of the hotel component should prioritise functionality and consider:
 - Guest movement within the hotel, around floors and between floors.
 - Ease of access from street level and for vehicle drop-off/pick-up.
- Ease of service of the hotel by the operator, including the co-location of facilities and back-of-house access.
- A guide to the spatial requirements for hotel facilities, including restaurants, meeting and function rooms, ballroom and back of house requirements are detailed at **Section 4.3.2** of this brief and **Appendix F**.

4.2.5 Vehicle Access, Waste Management and Basement Objectives

- The project is to provide a consolidated basement, containing all loading, servicing, waste management and car parking facilities.
- Vehicle access to the basement must not result in more than two driveway cross overs, inclusive of those provided for hotel drop-off. The location of driveway crossovers should generally accord with the proposed site access arrangement described in **Section 2.2.1** of this brief and the Traffic and Transport Brief at **Appendix N**. Any alternative driveway cross over locations are discouraged and would be required to demonstrate:
 - Hotel pick up/drop off and car park/loading dock arrangements must ensure that impacts on general traffic, cyclists, pedestrians and street trees are minimised.
 - Vehicular access arrangements must not impact on the operation of the bus zone located on Castlereagh Street. In this regard there should be no reduction in the length of the existing bus zone.
 - No more than 2 vehicle cross-overs are to be provided. It should be noted that Transport for NSW are unlikely to support any vehicle crossover on Elizabeth Street.
 - The site must be configured to allow all vehicles to be driven onto and off the site in a forward direction.
 - All vehicles are to be wholly contained on site before being required to stop.
- Vehicle access to the basement is to balance service vehicle access and the hotel lobby and drop-off, whilst prioritising pedestrian and cyclist safety.
- Loading and unloading operations associated with servicing the site must be carried out within the confines of the site.
- The detailed design of the building must provide for all vehicles to enter and leave the site in a forward direction.
- Basement design needs to maintain the existing access and circulation arrangements to the basement of 227 Elizabeth Street. Existing basement plans for 227 Elizabeth Street are provided at **Appendix O** and additional detailed regarding circulation arrangements are discussed in the Transport Brief at **Appendix N**.
- Design solutions should retain the flexibility to adapt the lower ground design.
- Car parking is to be provided consistent with the maximum car parking rates prescribed in the SLEP 2012.
- The final car parking rates will be determined as part of the assessment of the detailed DA design stage and will depend on the allocation of the final mix of land uses and calculated in accordance with the maximum car parking rates in SLEP 2012.

- Basement designs should include the following elements in addition to car parking:
 - End-of-trip facilities and bicycle parking consistent with 3.11.3 of the SDCP 2012.
 - Car share spaces consistent with the requirements of section 3.11.2 of the SDCP 2012
 - Efficient inclusion of building storage rooms.
 - Loading and unloading provision for all land uses to be incorporated into the design solution.
- The car park design, layout, signage, line marking, lighting and physical controls of all off-street parking facilities must comply with Australian Standard AS/NZS 2890.1 Parking facilities Part 1: Off-street car parking, AS/NZS 2890.2 Parking facilities Part 2: Off-street commercial vehicle facilities and AS/NZS 2890.6 Parking facilities Part 6: Offstreet parking for people with disabilities.
- Bicycle parking must be provided in accordance to the rates within SDCP 2012. For bicycle parking and end of trip facilities, the layout, design and security of bicycle facilities must comply with the minimum requirements of *Australian Standard AS 2890.3:2015 Parking Facilities Part 3: Bicycle Parking Facilities, SDCP 2012 and 'Austroads Bicycle Parking Facilities: Guidelines for Design and Installation'*. Design is to include the following:
 - Resident bicycle parking spaces must be provided at upper basement levels and not dispersed throughout the levels. Resident bicycle parking spaces are preferred as class 2 (known as Class 'B' in the latest Australian Standards) and are to be consolidated in one area, for easy access and identification.
 - Retail staff parking spaces must be class 2 (known as Class 'B' in the latest Australian Standards) parking and must be located in a consolidated area within the ground or first level below ground, for easy access and identification. Retail staff parking is to be in a separate location to the residential parking area.
 - Hotel staff parking spaces must be class 2 (known as Class 'B' in the latest Australian Standards) parking and must be located in a consolidated area within the ground or first level below ground, and in a separate location to the residential parking area.
 - Visitor bicycle parking spaces are to be provided as class 3 (known as Class 'C' in the latest Australian Standards) facilities and is to be provided at an accessible at-grade location.
- The waste collection area must meet the requirements of section 3.11.13 of the SDCP 2012 that vehicle access for collection and loading will include (but is not limited to) the following:
 - a 9.25m Council garbage truck and a small rigid delivery vehicle;
 - minimum vertical clearance of 4.0 metres for residential development or else 3.8m clear of all ducts, pipes and other services, depending on the gradient of the access and the type of collection vehicle;
 - collection vehicles to be able to enter and exit the premises in a forward direction. Where a vehicle turntable is necessary to meet this requirement, it is to have a capacity of 30 tonnes;
 - maximum grades of 1:20 for the first 6m from the street, then a maximum of 1:8 with a transition of 1:12 for 4m at the lower end;
 - a minimum driveway width of 3.6m; and
 - a minimum turning circle radius of 10.5m.
- Waste management facilities must comply with Council's requirements for waste management facilities as per Council's *"Policy for Waste Minimisation in New Developments 2005"* as well as the controls set out in section 3.11.13 of the SDCP 2012. To facilitate on-site waste collection, the design is to accommodate access for a 9.25m long Council truck. Service vehicle parking requirements are set out Schedule 7.8 of the SDCP 2012. The scheme should address:
 - Waste/recycling chutes accessible at each residential level;
 - Waste rooms at the base of each chute within the basement level;
 - Residential bin collection room and dedicated storage for bulky waste;
 - Separate bin and hard waste storage room for all commercial and retail;
 - Any additional waste storage and collection requirements of the retail space;
 - Separate storage of liquid wastes (oils etc) and appropriate bunding

- Waste management, storage and collection is to be located off street, wholly within the site in a loading bay or within the building's basement car park
- Sufficient area in the basement for separation of waste streams in line with the City's new latest Waste Strategy, available on Council's website available at (<http://www.cityofsydney.nsw.gov.au/vision/towards-2030/sustainability/waste-management#page-element-dload>).
- Treatment of carpark entries and access ramps and any loading, service or waste management holding areas located at street level are to be integrated with in the building envelope. All areas are to be treated in material quality equal to standard of the principle building façade to achieve a high quality interface with adjacent areas the public domain.

4.2.6 Landscape Objectives

- This competition provides an opportunity to strengthen the physical and visual connections between Hyde Park and Sydney CBD. The delivery of the public domain is to ensure a cohesive and integrated public domain approach to achieve the vision of the Sydney Landscape Code: Volume 2 and the Greening Sydney Plan.
- Provide a high level consideration of landscape detailed design with regards to both the public and private domain including existing street trees and replacement of any street tree lost due to site access arrangements.
- Ensure that there are intimate places where people want to be, extensive planting, potential community garden area, and water features, advanced trees and the use of sustainable materials.
- Ensure the landscape design is integrated with the built form and in accordance with the Sydney Landscape Code.
- Demonstrate that the building and landscape design is well-integrated in terms of both function and aesthetic, and in relation to the public domain.
- Landscape design is an important component of a high quality public urban space. It is to relate and reflect the existing urban fabric of the city, including Hyde Park and address safety in design issues.
- Enhance Elizabeth Street tree character due to big leafy trees along Hyde Park. Street trees should be provided consistent with Part C, Precinct 6 of the City of Sydney Street Tree Master Plan 2011 http://www.cityofsydney.nsw.gov.au/data/assets/pdf_file/0018/130248/STMP2011_150501-PartC-Precinct6.PDF
- Landscape treatments are to be designed to provide the user a sense of comfort throughout the seasons. The local climate is to be taking into consideration in the planting and material palette. Given the proximity of Hyde Park, a potential green theme can be established.
- The external material palette is to be durable and consistent with the CBD environment and create a strong identity. Materials are to minimise slips, trips and falls.
- Provide common open space compliant with the SDCP 2012, with area and overall design that can be used for the active and passive recreation and amenity needs of all residents.
- Access and intended use of communal open spaces should be provided. These spaces should be diverse in scale, aspect and use. Access to all communal open spaces must be direct and equitable to provide for all residents.
- A balance of hard and soft landscape is to be provided across the site and needs to relate to the immediate surrounding of the site which include Hyde Park biodiversity.
- Considering Elizabeth Street façade orientation to the West, soft planting can provide shade during summer months and good solar access in Winter months.
- Fixed furniture such as seating are to provide respite, comfort and functionality and should be articulated with items of interest.
- Give consideration to the integration of green walls and roofs in the design of retail areas, hotel and the residential tower. Green walls and roofs can provide additional benefits where space is restricted, and may be considered where they are practical, sustainable and support the desired outcomes of creating comfortable and

attractive places for people. The City has a Green Roofs and Walls Policy with guidelines to assist in identifying appropriate locations.

- Where planting occurs on podiums or roof terraces, adequate soil depth and volume should be provided to support planting in accordance with the requirements of the Apartment Design Guide (ADG) and the Sydney Landscape Code. The building parapet height must enable this and allow all planting to be safely and directly accessed for maintenance without a fall risk. The need for any specialised safety equipment for maintenance should be minimised.

4.2.7 ESD Targets

- The design should encourage and demonstrate a new level of holistic design thinking that considers integrated responses to energy, water and waste conservation.
- The project should utilise a sustainable design hierarchy approach, optimising passive design solutions and achieving further benefits through the efficient use of smart and active systems.
- The proponent emphasises the importance of Ecologically Sustainable Development and the following targets are required to be addressed in any design:
 - BASIX Energy 30 and Water 45 in the categories of Water and Energy.
 - Extensive glazing that is unprotected from the mid-summer sunlight is to be avoided.
 - Water performance targets for hotels in accordance with the City's Environmental Action Plan.
 - On-site water capture and re-use within building.
 - 5 Star Green Star certification.
 - Sustainable materials to be used in construction
 - 80% recycling and recovery of construction and demolition waste.

ESD targets and sustainability initiatives will be carried through the competition phase, design development, construction, and through to completion of the project to deliver an exemplar of environmentally sustainable development.

4.2.8 Services and Structural Considerations

Building Services

- The indicative building services brief **Appendix K** provides preliminary assumptions for the purposes of the competitive process only and does not preclude alternative design strategies. Inclusion of **Appendix K** is intended only to provide high-level assumptions to cover off any significant spatial requirements. Competitors are not required to provide detailed building services design.
- Allow sufficient space for services to be incorporated into all floor plans including basements and upper level plantrooms.
- The building services for the different components of the development (residential, hotel, retail) will need to have the ability to be run on separate systems and separately metered.
- Consideration should be given to services that require direct street frontage for maintenance or emergency access.
- If the building design proposes the use of podium roof top areas for residents, visitors, outdoor dining, etc, any services plant or exhaust must be designed to protect and prioritise the amenity of such uses.
- All building services will comply with the relevant Australian Standards and regulations.
- No air conditioning units are to be located on balconies.

Substations

- Substations are not freestanding kiosk style structures and are to be integrated into the fabric of the building.

- A new chamber substation will be required to be allowed for in the lower ground floor, accessed off Castlereagh Street.
- The location and design of substations:
 - Should ensure chambers and enclosures are recessive and positively contribute to the architecture, landscape and public domain design quality
 - Enclosures and screening are to be of high material quality equal in standard to the facade treatment applied to principle buildings
 - Should not compromise activation of street frontages nor the public domain

Lifts

- The lifting design concept is to provide efficient service to the basement, street level entrances and all floors.
- The different components of the development (residential, hotel, retail and commercial) will need to have separate lifting systems. Both the hotel and retail uses will require separate provision for goods lifts from the loading dock. Hotel goods lifts are to have direct access to BOH restaurant and kitchen facilities
- Other vertical transportation systems can be considered where appropriate for podium uses.
- A suitable number of lifts serving the residential tower will need to serve all basement floors where residential parking is allocated.
- For residential components of the development, the lift design is to meet industry standard practice guidelines of “good – excellent”.
- For the hotel, the lift design is to meet industry standard practice guidelines for 5 star hotels.
- Industry standard practice guidelines for residential, hotel and office lift performance are outlined in the Vertical Transportation Services Report at **Appendix K**.

Structural System

A Structural Engineering brief is provided at **Appendix L**. It is intended only to provide high-level assumptions to cover off any significant spatial requirements.

Façade Design

Facade treatment should be designed to include management of summer solar access and in particular mid-summer western sunlight.

- Shading strategies and devices are to be integral to the architecture.
- Fixed shading devices are not to substantially restrict access to natural daylight or outlook
- Extensive glazing that is unprotected from mid-summer sunlight is to be avoided. The detailed design must not rely on high performance tinting or glazing as a sun control device.

Reflective materials used on the exterior of buildings can result in undesirable glare for pedestrians and on occupants of other building and potentially hazardous glare for motorists.

- Facade treatment should minimise the reflection of sunlight from building to surrounding areas and buildings.
- Ensure that building material do not lead to hazardous, undesirable or uncomfortable glare to pedestrians, motorists or occupants of surrounding buildings.

4.2.9 Wind Design Considerations

- Tower and podium design should aim to deliver an improved pedestrian wind condition to that of the existing situation;
- The tower is to be articulated to ameliorate wind impacts at street level and in Hyde Park;

- Opportunities for outdoor dining (at ground level or above) must consider the wind conditions and comfort levels of those locations.
- Consideration should be given to the provision of wintergardens consistent with the definition at clause 4.5A of the SLEP to residential apartments above a height of 30m.
- Advice may be sought from the technical advisor in relation to wind considerations throughout the competition (see **Section 5.8**).

4.2.10 Public Art

- The City of Sydney encourages the provision of high quality public art in private developments which benefit public outcomes and the wider community through an experience of individual projects and urban form.
- The Preliminary Public Art Plan, prepared for the Concept DA, establishes the framework for the provision of public art within the project (refer to **Appendix W**).
- Identify site-specific, integrated opportunities leading to unique and challenging contemporary artistic responses that:
 - respond to the site's constraints and opportunities and design objectives outlined in this Brief;
 - are of a scale and quality commensurate with the overall development;
 - align with the City of Sydney's *City Art Public Art Strategy 2011* and *Public Art Policy 2015*; and
 - are in keeping with the City's strategic priorities and concepts, provide artists with opportunities to integrate high quality public art with the architectural and public domain design.
- Consider the following in response to Public Art for the precinct:
 - a concept and rationale outlining the integration of high quality public art with the architectural and public domain design;
 - identification of proposed location/s for high quality, integrated, site specific public art; and
 - an outline of the proposed collaborative process between the architect, the artist(s).

Note: the detailed planning, procurement and implementation of high quality public art will occur in the subsequent preparation of the detailed DA.

The City's *Public Art Policy* and Interim guidelines *Public Art in Private Developments* can be found on the City of Sydney's website at <http://www.cityofsydney.nsw.gov.au/explore/arts-and-culture/public-art>

4.2.11 Public View Corridors

- Development proposals should actively contribute to the public view corridors identified in **Section 2.2.3**.
- The form and materiality should consider the building as a backdrop to Hyde Park, Anzac Memorial and Pool of Remembrance.
- Consideration of key view corridors is to include the setting of the tower in the Sydney CBD skyline.

4.2.12 Minimising Private View Loss

- Design proposals are to consider the impact of built form on existing private dwellings in the vicinity of the site.
- Locating built form wholly within the approved building envelope is deemed to have an acceptable impact on private views.

4.2.13 Building Signage

- Competitors should consider opportunities to integrate building identification signage into the building. As a minimum, a signage zone is to be identified at ground floor in association with retail tenancies and building lobbies, compliant with the provisions of section 3.16 of the SDCP 2012

4.3 Commercial Objectives

4.3.1 Project Construction Budget

The construction budget (excluding demolition) is \$352,000,000 excluding GST. Proposed designs should meet the construction budget. A breakdown of the components of this construction budget is provided in the QS Summary at **Appendix I**.

Each submission will be independently costed by the Quantity Surveyor (refer to **Section 5.8.3**). Competitors are encouraged to utilise advice from the Quantity Surveyor (refer to **Section 5.8.3**) to verify the competition submission is capable of achieving the construction budget.

4.3.2 Hotel Market Positioning and Product Brief

The proposed development will provide luxury hotel in the heart of Sydney's dramatically under-supplied CBD, overlooking Hyde Park and Sydney's picturesque harbour. A truly iconic asset, outstanding location, and a place-making anchor in a globally-significant mixed-use development.

As a minimum to achieve a 5-star minimum rating and cater for domestic and international operators, the hotel requires the following spatial allowances (areas and numbers are approximate only).

Room Type	Number of Rooms		% of total	Internal Area (m ²)
Standard/Deluxe	356		87%	38
Junior Suite	9		2%	51-56
Executive Suite	31		8%	72-76
Superior Suite	9		2%	97
Presidential Suite	1		1%	140
Total	410		100%	
Description	Location	Size (m ²)		
Lobby	Ground Floor	350		
Ballroom	Level 1	600		
Junior Ballroom	Level 1	300		
All Day Dining	Level 1	400		
Prefunction	Level 1	360		
Meeting Rooms	Level 1	360		
Hotel Lounge	Level 1	100		
Kitchen Area	Level 1	300		
Amenity	Level 1	250		
Admin	Level 1	60		
Hotel Lounge	Level 2	90		
Administration	Level 2	60		
Executive Lounge	Level 10	180		
Cocktail Bar	Level 10	60		
Cocktail Terrace	Level 10	140		
Reception	Level 10	20		
Day Spa	Level 10	120		
Gym	Level 10	120		
Semi outdoor gym	Level 10	80		
Amenity	Level 10	60		
Swimming pool (separate to residential uses)	Level 10	25m by 5m		

BOH/STORAGE	Basement 1 to Level 10	1200		
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4.3.3 Residential Market Positioning and Product Brief

The proposed future development will provide a rare opportunity for super prime residences on Sydney's Hyde Park, with a strong demand expect from local purchasers from the following groups:

- "Empty nesters" seeking a CBD lifestyle.
- City professionals seeking close proximity to the CBD.
- Investors.
- International families seeking out a quality residence or investment.
- Semi retirees who 'lock up and leave' for travel.

The proposal is to provide complying apartment mix and size in accordance with the requirements of the ADG and SDCP 2012 as per the following:

Type	Internal Area (m ²)	Lower/Mid (L11 - L33)	High Rise (L34 above)	Weighted Total
Studio	38 - 42	0%	0%	
1B and 1B+S	50-52	10.0%	0%	5%
	55-58	15.0%	0%	10%
2B	80 - 90	65.0%	10%	48%
	85-90		50%	17%
3B	100-110	10%	20%	13%
	120-130		20%	7%
		100%	100%	100%
Pent house (upper 1 level only)	250			

4.3.4 Retail Market Positioning and Brief

The future development is to set a new place-making precedent in this emerging part of Sydney. Capturing the luxury of a 5-star Hotel lobby with stunning views over Hyde Park & Sydney Harbour, this exquisite hotel and residential project should be underpinned with a sophisticated, bespoke retail proposition.


Most great liveable Cities with upmarket residential neighbourhoods are centred around amazing parks and incredible retail amenity. When you consider Knightsbridge, Kensington and Hyde Park in London or Manhattan and Central Park you immediately think of the greenery, the gardens, amazing hotels, tourists, great restaurants and places to eat, gourmet food, wine stores, quirky boutiques, European furniture stores and fabulous book shops. The retail proposition should elevate itself to be in concert with retail precincts on the world stage.

4.3.5 Construction and Buildability

Buildability (including construction methodology, relationship to existing and future rail infrastructure and staging) will be a key factor in the assessment of submitted schemes. Designs with innovative but practical solutions incorporating rational structural grids and offering floor plate flexibility for tenant integration.

Selected materials should be durable, low maintenance and fit for purpose. If innovative or natural materials are proposed for use, evidence must be provided regarding warranties, durability and examples of prior successful use in the Australian context. Maintenance, servicing and replacement of all selected materials should also be considered.

Proposals should not include PE (polyethylene) cladding or other flammable material.



COMPETITION PROCEDURES



5.0 Competition Procedures

5.1 Competition Process

The design competition is by invitation only. It includes a total of five competitors. A competitor may be a single person or firm, or a number of firms working in partnership, constituted of a principal/lead architect supported by an executive architect(s). Where a competitor includes an international firm, this must be in partnership with a local firm. No more than 50% of competitors can include international firms as the principal/lead. A competitor will either be a person, corporation or firm registered as an architect in accordance with the NSW Architects Act 2003, or, in the case of interstate or overseas competitors, eligible for registration with their equivalent association.

5.2 Competition Manager

The Proponent has appointed Ethos Urban as the Competition Manager. It is the Competition Manager's role to manage the organisational and administrative functions of the Competition on behalf of the Proponent. The role of the Competition Manager includes:

- Ensuring the competition is undertaken in accordance with the Policy and this Brief;
- Acting as the first point of contact for the proponent, the competitors, the City of Sydney and the jury during the competition;
- Facilitating briefings, presentations and meetings;
- Receiving competitor's questions during the competition and coordinating responses;
- Ensuring the architectural submissions meet the requirements of the Brief; and
- Coordinating and drafting the Architectural Design Competition Report.

All communications with the Competition Manager are to comply with the Communications Protocols set out in **Section 5.9** of this Brief.

5.3 Design Competition Brief

This brief sets out the objectives of the proposal, the basis for participation, the responsibilities of the proponent and the jury, the role of the City of Sydney and the design competition procedures.

This brief is accompanied by reference material providing more details on the site and design competition requirements. This reference material comprises a number of technical reports, as detailed in the Table of Contents.

As required by the City's Competitive Design Policy, the City of Sydney has reviewed and endorsed this brief on 3 September 2018.

This design competition was notified to the Australian Institute of Architects (AIA) on 3 September 2018.

Nothing in this brief approves a departure from the relevant planning controls, including any relevant State Environmental Planning Policies (SEPPs), the SLEP 2012 and SDCP 2012 controls or the Concept consent and its conditions. Where there is any inconsistency between this brief and the relevant planning controls, the relevant planning controls and Concept DA consent prevail.

5.4 Impartial Observer(s)

This design competition will be overseen by an impartial observer(s) appointed by the City of Sydney. This observation includes all briefings of competitors and jury sessions. The observer will be provided with at least five working days' notice and will (unless declined) be present at:

- Briefing session and site visit for competitors;
- Any further information briefings or meetings with technical advisors;
- Presentations.

- Jury discussions and deliberations.

The observer may be present when the submissions are opened. All information and responses issued to and received from competitors and jury are also to be copied to the observer/s.

5.5 Competition Jury

The competition jury comprises a total of six jury members. If any jury member has to withdraw prior to the completion of the design competition, another juror of equivalent professional credentials will be appointed by whoever originally appointed that juror.

Jury members are to:

- Represent the public interest;
- Be appropriate to the type of development proposed;
- Include persons who have expertise and experience in the design, development and construction professions and property related industries;
- Include a majority of registered architects with urban design expertise.

5.5.1 Jury Chair

The jury is to agree on the selection of a Chair. The primary function of the Chair is to ensure that jury deliberations proceed in a fair and orderly manner.

In coordination with the Competition Manager, the Chair shall at conclusion of jury deliberations, supervise:

- letter of notification to the winning and unsuccessful competitors;
- the writing of the jury comments to be included in the Architectural Design Competition Report;
- the review and endorsement of the final Architectural Design Competition Report.

5.5.2 Jury's Obligations

In accepting a position on the jury, jury members agree to:

- Have no contact with any of the competitors or the proponent in relation to the subject site and the design competition from their time of appointment until the completion of the process other than during presentation of the submissions;
- Evaluate submissions promptly in accordance with the design competition timetable (refer to **Section 1.7**);
- Abide by the requirements of the Design Competition Brief;
- Consider planning or other technical advice any clarification on compliance matters provided by the City of Sydney;
- Refrain from introducing irrelevant considerations in addition to, or contrary to those described in the Design Competition Brief, or contrary to the statutory framework relevant to this site;
- Make every effort to arrive at a consensus in the selection of a winner;
- Prepare an Architectural Design Competition Report explaining their decisions;
- Sign a statement confirming they have read and understood the jury member's obligations and agree to respect those obligations for the duration of the Competition

5.6 Proponent's Obligations

The proponent agrees to have no contact with the jury members, competitors, CSPC members and elected Councillors in relation to the site and the design competition from their time of appointment until the completion of the process.

If the City of Sydney is informed by a jury member that they have been contacted by the proponent or a competitor in relation to the site or the design competition, then the process may be terminated.

5.7 Web-Based Competition Microsite

The Competition Manager has established the Design Competition Microsite (DCM) through which the competition will be managed. The website address for this DCM is: <http://201elizabeth.designcomp.com.au/>

The DCM is the portal for all information pertinent to the design competition, including the brief and accompanying reference material, background information, announcements, clarifications and uploading Final Submissions. The DCM will have the following pages:

- Home – Summary of the Competitive Process;
- Brief – Access to all Competitive Process documents;
- Forum – All announcements made by the Competition Manager;
- Your Questions – Location to submit questions;
- Submit Your Entry – Final submissions must be made through the form on this page.

All correspondence and information associated with the competition will be circulated via the DCM (refer to **Section 5.9**). This will ensure transparency and allow for an accurate record of the competition upon completion. Competitors will receive a notification email to their nominated account when any announcement is made or when a response to a question is provided.

In order to establish the DCM database, each competitor is required to provide the following details for a maximum of three staff members:

- Name
- Email Address; and
- Contact Phone Number.

All participants in the competition (competitors (three logins per team), jury, competition manager and observers) will be provided with a unique log-in for the DCM at the commencement of the competition. The privacy of each competitor will be protected on the DCM.

5.8 Technical Assistance

5.8.1 Technical Assistance to the Jury

The proponent shall engage the following technical advisors to provide a high level review of competition entries and advice to the jury on the final submissions:

- Ethos Urban – Planning.
- WTP – Quantity Surveyor.
- Webber Design – Structural Engineering and Site Conditions.
- Norman Disney Young – Mechanical and Electrical Engineering.
- Norman Disney Young – Hydraulic and Fire Services Engineering.
- Norman Disney Young – Lifts and Vertical Transport.
- TTPP – Traffic and Parking.
- MEL Consultants – Wind Engineering.

The technical advisors will be strictly limited to technical and compliance matters pertaining to their professional discipline only. Technical advisors shall refrain from providing advice on matters outside of their remit. The jury may seek independent technical assistance, if required.

Note: The technical review presented to the jury will be limited to a high-level preliminary assessment of the final submission. This will not include a detailed compliance assessment.

5.8.2 Technical Assistance to Competitors

Competitors are encouraged to seek advice to achieve the best possible architectural outcome for the proposed scheme.

The proponent will make available up to eight (8) hours advice with the following technical advisors listed below to each competitor. Such services will be paid for directly by the proponent (over and above the Competition fee):

- Ethos Urban – Planning.
- Webber Design – Structural Engineering and Site Conditions.
- Norman Disney Young – Mechanical and Electrical Engineering.
- Norman Disney Young – Hydraulic and Fire Services Engineering.
- Norman Disney Young – Lifts and Vertical Transport.
- TTPP – Traffic and Parking.
- MEL Consultants – Wind Engineering.

All communications must be conducted strictly in accordance with the communications protocols set out in **Section 5.9** of this Brief. Questions from competitors requesting technical advice must be made via the DCM, unless stated otherwise. All technical advisors will keep the content and intellectual property of each competitor's scheme confidential.

Competitors may elect to appoint their own technical consultants as needed.

Note: it is emphasised that technical advice is limited to review and clarification on each competitor's scheme in confidence. Technical advisors will not present or prescribe design solutions.

5.8.3 Quantity Surveyor

The proponent has engaged WTP to provide the following quantity surveying advice to each competitor throughout the competition:

- Up to four (4) hours per competitor of high-level costing advice throughout the competition. The QS will respond to specific questions throughout the competition but will not undertake reviews of partially completed submissions.
- One (1) face to face meeting with each competitor, arranged by appointment with the competition manager.
- Review of final submission and provide an estimated cost of works to the respective Competitors two (2) days prior to the Presentation Date. Whilst no additional work will be requested or required of Competitors prior to the Presentation Date, Competitors are encouraged to review the QS statements and consider whether the construction budget has been met, and whether there are any barriers to achieving this budget during detailed design.

The Competition Manager is to be present as observer at the meeting and provide a summary record of the meeting to the City of Sydney. City observer/s will be invited to attend all meetings between the QS and Competitors. All other communications with the QS must be conducted strictly in accordance with the communication protocols set out in **Section 5.9** of this Brief.

5.8.4 Technical Advisor Obligations

All technical advisors are engaged by the proponent to provide high level review of each competitors' submission and assistance to the jury and competitors.

Advice provided by technical advisors to competitors and the jury will be strictly limited to independent technical and compliance matters pertaining to their professional discipline only. Technical advisors shall refrain from providing advice on matters outside of their remit.

All technical advisors are bound by the confidentiality requirements set out at **Section 5.21** of the Brief and will be required to sign a confidentiality agreement with the Proponent to keep the content and intellectual property of each scheme confidential.

5.9 Communication and Questions

Competitors should direct all communications regarding any clarification of competition details in writing to the Competition Manager via the DCM only. All correspondence and information associated with the competition will be circulated via the DCM. Each Competitor's privacy is protected.

Competitor's questions will be vetted by the Competition Manager and addressed publicly or privately according to their nature. Public responses will not disclose the identity of the Competitor asking the questions or specifics of the Competitor's scheme. The deadline for questions from competitors via the DCM is three (3) working days prior to close of the design competition. Impartial observers will receive a copy of all questions and responses (public or private) via the DCM.

Competitors are encouraged to make use of the DCM to access the brief, as well as ask questions/ clarifications. Direct email/phone communication with the proponent's Competition Manager is still available if necessary (refer to **Section 1.6** for contact details).

Where exclusive advice or clarification is provided to individual competitors outside of the DCM, such advice must be issued in writing and copied to the impartial observers.

Except where specified otherwise in this Brief, competitors should not communicate regarding clarification of any design competition details with:

- The proponent;
- Jury members;
- Technical advisors;
- The City of Sydney;
- Consent Authority; and
- Other competitors.

5.10 Closing Date for Final Submissions

Final Submissions must be lodged through the online Design Competition Manager no later than: **5:00pm AEST, Friday 12 October 2018**.

Hard copies must be delivered to the address set out in **Section 5.11** by 5:00pm on the closing date.

Unless formally requested by the competition manager for the sole purpose of clarification, the jury will not take into consideration any new materials submitted by competitors after lodgement of Final Submissions and lodgement of a physical model on the Presentation Date.

It is the competitor's sole responsibility to ensure the online and physical delivery of their submission to the competition manager by the deadline. Late submissions will not be accepted.

5.11 Lodgement of Submissions

Competitors shall lodge their submissions online via the DCM and a hard copy submission to the Competition Manager in a sealed package to the following address:

Competition Manager
Samantha Miller, Principal
Ethos Urban
173 Sussex Street

SYDNEY
NSW 2000

The package should be labelled Confidential '201 Elizabeth Street – Design Competition'.

The impartial observer may be present when the submissions are opened.

The physical model must be submitted on the Presentation Date.

5.12 Presentation Date - Presentation Material

On the Presentation Date (refer to Key Dates in **Section 1.7**), Competitors present their Final Submissions and physical model to the Jury.

Competitors must submit to the competition manager an electronic version of their presentation material in accordance with the Key Dates at **Section 1.7**. The presentation material may be a reformatted version of Final Submission but must not include any revisions to, additional or enhanced material that was not included in the final submission. Competitors can provide presentation material in either .pdf or power point format with a maximum file size of 50MB.

The competition manager will audit the presentation material to ensure that no additional information has been added. The competition manager will notify any competitor to remove any additional material at least 24 hours prior to the Presentation Date.

The Jury may disqualify a Competitor that presents new material that has not been submitted by the Final Submission due date as specified in **Section 1.7** of this Brief.

5.13 Disqualification

Submissions that fail to meet the design competition procedures may be disqualified, in particular where:

- The submission is received after the Final Submissions lodgement time and date.
- The submission is contrary to the objectives of the City of Sydney planning controls and this Brief.
- The submission is not submitted in accordance with the submission requirements, as stated in the brief.
- A competitor attempts to influence the deliberations of any member of the jury outside of the Final Presentation Date.

The jury will determine any disqualifications.

5.14 Jury Assessment and Decision

A minimum of five competition submissions must be considered as part of this design competition.

The competition manager shall provide one (1) hard copy the Final Submissions to all jury members and the City of Sydney at least one week prior to the Presentation Date. A copy of the electronic submission can be accessed by the jury and impartial observers via the DCM.

The competitors must present their entry to the jury in person on the specified Presentation Date. The presentation must be no longer than 30 minutes followed by 20 minutes of questions from the jury.

Each competitor's submission is to be graded by the jury according to the assessment criteria in **Attachment 1**.

If, in the jury's opinion a better design could be attained by the top two entrants, then the jury list the design issues of the schemes and request that entrants redesign their entry. Competitors must represent the entry within 21 days of the initial presentation. Upon completion of the second presentation to the jury, the jury will rank the competition submissions (first and second). The jury is expected to reach a design on whether to request a redesign within 14 days of Final Presentations.

The jury's decision will be via a majority vote.

The decision of the jury will not fetter the discretion of the consent authority in its determination of any subsequent development application associated with the development site that is the subject of this competition.

The jury may grade the submissions in order of merit. They may recommend that none of the entries exhibit design excellence and thus end the competition.

5.15 Appointment of the Winning Architect of the winning submission

The proponent shall appoint the architect (winning architect) of the winning submission as selected by the jury. Full design and documentation of the winning scheme should then occur.

To ensure that design continuity and design excellence of the winning submission is maintained throughout the development process, the architectural commission is to include as a minimum:

- Preparation of a Development Application for the winning scheme;
- Preparation of the design drawings for a construction certificate;
- Preparation of the design drawings for the contract documentation; and
- Continuity during the construction phases through to the completion of the project

The winning architect is expected to be appointed within 21 days of the Decision Date.

The winning architect may work in collaboration with other architectural practices but must retain control and a leadership role over design decisions throughout the life of the project.

In the event that the proponent decides not to proceed with the winning architect, or the proponent limits the architectural commission outlined above, the Proponent will:

- Provide the City of Sydney with written reasons for this decision; and
- Restart the Architectural Design Competition.

Note: Winning architect refers to the nominated firm or partnership as acknowledged by the City of Sydney.

5.16 Announcement

The winning architect will be notified of the jury's decision as per the date set out in **Section 1.7** of this Brief.

The competition manager will advise competitors in writing of the decision within the timeframe in **Section 1.7** of this Brief. The Architectural Design Competition results will be made public within 21 days of the Decision Date.

5.17 Care of Material and Insurance

It is each competitor's responsibility to wrap, ship, mail or deliver by other means, their submission, ensuring timely and intact arrival. The proponent disclaims any responsibility for any loss or damage during transit.

No liability shall be attached to the proponent regarding the submissions, whilst in the possession of the proponent. All reasonable care shall be taken to maintain the submissions in good condition, but a limited amount of 'wear and tear' is inevitable.

Competitors are advised to make copies of their submissions, so as to retain a copy of their work. Responsibility for insuring submissions rests solely with competitors.

5.18 Competition Fee

A competition fee of \$120,000 including GST shall be paid to each competitor for participating in this competition. Payment to competitors will be made on invoice following the submission of the competition entry and presentation to the jury. This fee is in AUD as at 3 September 2018.

Where the competitor does not have a Sydney office or where the competitor includes an international firm without a Sydney office and is partnered with a local firm with a Sydney office, the competitor fee will be in addition to disbursements to be agreed between the proponent and the competitor for international and interstate travel, accommodation and related costs and expenses.

5.19 Return of Documents

The proponent retains the right to hold submissions for a period of up to six (6) months from the closing date of the competition. The proponent shall retain the winning submission(s). Other submissions shall be returned to the competitors.

Competitors shall be notified by letter of the date on which submissions will become available for collection.

5.20 Copyright

Copyright for each submission shall remain in the ownership of the original author(s) unless separately agreed between the proponent and the competitor.

The proponent and the City of Sydney shall have the right to display, photograph, publish and distribute the competition brief, submissions, presentations and reports produced as part of this competition for publication, publicity or other such purposes. Any such reproductions shall acknowledge the copyright owner(s).

Executive of the Competition Invitation and Acceptance letter shall be deemed as legal permission for the proponent and the City of Sydney to publish the competitor's designs. No compensation shall be made for such reproduction or publication.

5.21 Confidentiality

Competitors shall observe complete confidentiality at all times in relation to their submission, including plans, information whether verbal or written, documentation or any advice until the decision date. The same strict rules of confidentiality are to apply to any consultants or other persons or entities from which the Competitors' may seek advice.

This Brief and the documents comprising the competitors' submission are confidential until the design decision is announced and made public. Competitors must not use them for any other purpose other than with the prior written consent of the proponent.

The proponent, competitors, technical advisors and jury shall observe complete confidentiality in relation to submissions received prior to a decision in relation to the competition that is made public.

5.22 Architectural Design Competition Report

An Architectural Design Competition Report will be prepared by the competition manager on behalf of the jury. This report shall detail:

- The design competition and include a copy of the brief.
- The Jury's assessment of the design and merits of each submission.
- The rationale of the choice of preferred design which must clearly demonstrate how this best exhibits design excellence in accordance with the provisions of Clause 6.21(4) of the SLEP 2012 and the approved Design Excellence Strategy.
- Any further recommended design amendments relevant to the achievement of design excellence.

The Report is to be endorsed and signed by all Jury members and submitted to the City of Sydney within 14 days of the decision, in accordance with **Section 1.7**.

Following the jury's decision, the City of Sydney may require the proponent to hold a public exhibition of the design competition entries.

5.23 Amendment to the Competition Brief

Once approved, no amendment to the Brief is permitted without the written approval of the City of Sydney. Any change to the program is considered an amendment to the Brief.

In the event that a change in program is sought by the proponent or competitors, the competition manager must notify all competitors in writing of the proposed change following endorsement from the City of Sydney. All competitors are required to provide written acceptance of the proposed change, prior to the City of Sydney granting approval. On the City of Sydney's approval, the competition manager will provide written notification to all competitors of the agreed change in program.



SUBMISSION REQUIREMENTS

6.0 Competition Entry – Submission Requirements

6.1 General

The submissions will include the following elements:

- Electronic submission of competition entry submitted via the DCM (See **Section 6.2**);
- Physical submission - Eight (8) physical copies of electronic submission documents (A3 format):
- Physical model.

All submissions must be received in accordance with **Section 1.7** of this Brief

6.2 Electronic Submission

The electronic submission must be:

- A single file with a maximum file size of 50MB
- A maximum page limit of 100 pages (excluding drawings, statement of compliance and area schedule)
- Provided in .pdf format (zipped .pdf is acceptable)
- File name must include 201_Elizabeth_Street_Competition_Entry_TEAM NAME.pdf

All submissions must should include all of the requirements set out in detail below.

6.2.1 Statement of Intent

Each entry should include a design statement addressing the proposal's approach, the response to the objectives of this Brief and the manner in which design excellence is achieved.

6.2.2 ESD Design Intent

Each submission is to include a summary of sustainability initiatives to achieve the ESD objectives set out at **Section 4.2.7** together with a description of any broader sustainability initiatives associated with the entry.

6.2.3 Drawings and Graphics

Each competitor's submission shall generally consist of:

- Local context sketch plan (1:400)
- Streetscape elevations (1:5000 or 1:200)
- Aerial photograph (1:1000 or 1:2000)
- Existing site plan (1:400)
- Site Analysis (1:400)
- Sketch concept plan (1:400). This must locate existing and new streets, public domain improvements, building form and massing of site and adjacent area.
- Ground floor plan including the relationship to the public domain (1:400)
- Typical plans, including basement levels and roof, elevations and sections including basement layout (1:400)
- Landscape concept plan (1:400)
- Sections and elevations (1:1500)
- Streetscape elevations inclusive of neighboring context (1:1500)
- Typical apartment layouts, for studio, one bedroom, etc (1:100)
- GFA plans illustrating the calculation of GFA (1:200) as per the area schedule included at **Appendix F**

- 3D massing or modulation study
- 2 x computer generated images or photomontages of the proposal utilising the identified viewpoints as set out in **Appendix H** and 2 x computer generated images or photomontages of the proposal with a base image of the competitors choosing.
- A digital materials/image board and indicative finishes (physical samples are not required).
- Concept DA envelope/regulatory controls overlay drawing, illustrating compliance with envelopes. Overlays must include relevant plans, sections, elevations and 3D massing model.
- Amenity diagrams demonstrating which apartments meet the minimum ADG requirements:
 - Solar access; and
 - Visual privacy (building separation distances)
- Detailed overshadowing diagrams and shadow reduction calculation of Hyde Park overshadowing prepared in accordance with the methodology at **Appendix M**.

In reference to all drawings and graphics:

- *Plans, elevations and sections and 3D massing studies must illustrate the proposed design relative to the approved Concept DA building envelope;*
- *All plans, elevations and sections are to be presented at the scale specified and are to include the scale, scale bar and north point;*
- *Critical relative levels to be shown on relevant plans, sections and elevations*
- *Site plans, elevations and sections must include adjacent properties to clearly represent the proposed design in relation to neighbouring context.*

For the purposes of planning coordination, the winning architect may be required to submit to the Consent Authority a DWG/DGN file of ground floor plan geospatially referenced with MGA (Mapping Grid of Australia) coordinates.

6.2.4 Area Schedule/Yield Analysis

Each submission is to include the completed Area Schedule/Yield Analysis as per the template provided at **Appendix F**. This schedule includes Net Lettable Area (NLA), Gross Lettable Area Retail (GLAR), Gross Floor Area (Statutory) and Gross Building Area (FECA + UCA). The Yield Analysis is also to include information regarding floor to floor heights and AHD Reduced Levels for each floor of the proposal.

Each Competitor must provide both a PDF and digital excel spreadsheet of the area schedule using the provided standard schedule at **Appendix F**.

6.2.5 Statement of Compliance

Each submission must also include a statement of compliance prepared by a suitably qualified person indicating the proposal's compliance with the objectives and the controls embodied within the planning framework, primarily the Objectives of Part 3 and Part 4 of the ADG, SLEP 2012, SDCP 2012 and Concept DA (D/2017/###). A template compliance table is provided at **Appendix G** and is required to be completed and submitted as part all entries.

Each submission must also identify and justify any non-compliance with the applicable planning controls for the site.

6.2.6 Construction Costs

Each submission must include the estimated construction cost. The entries will all be costed by the proponent's appointed quantity surveyor as noted in **Section 5.8.3**. It may also include a discussion on how the design is an economically feasible development option.

The yield schedule is provided at **Appendix F** and is required to be completed and submitted as part all entries. As per **Section 5.8.3**, competitors will be provided with a copy of the estimated cost of works as prepared by the Quantity Surveyor.

6.3 Physical Submission

6.3.1 Physical Copy

All competitors must provide eight (8) physical copies of the above electronic submission, printed and bound at A3 format.

6.4 Physical Model

A physical model of the competition entry at a scale of 1:500 is to be submitted to the competition manager on the Presentation Date.

This is to be designed to fit into an overall model to be provided by the proponent. Competitors will be issued with model specifications and associated CAD file with dimensions of the base model cut out to ensure competitor's models fit into the base model.

6.5 Digital Animations

Augmented reality, virtual reality, digital animations or fly-throughs should not be submitted and will not form part of the Jury's assessment. Digital animations, augmented reality or virtual reality added to the presentation material by Competitors will strictly not be accepted.

6.6 Presentation Date Material

At the time and date nominated at Presentation Material Lodgment Date **Section 1.7** of this Brief, competitors are to provide an electronic version of their Presentation material via the DCM to the Competition Manager for audit.

The Presentation material shall be collated into a single PowerPoint presentation slideshow or PDF document (maximum file size of 50MB).

No new material is to be presented over that lodged as Final Submissions. Refer to **Section 5.12** of this Brief.

Attachment 1 – Assessment Criteria Checklist

Evaluation Criteria	Weighting	Competitor 1	Competitor 2	Competitor 3	Competitor 4	Competitor 5
1) Compliance with Planning Brief <ul style="list-style-type: none"> o LEP 2012 o DCP 2012 o SEPP 65 o other applicable planning policies 	15%					
2) Compliance with Commercial Brief <ul style="list-style-type: none"> o development budget o marketability o FSA o Floor plate area o FSR o Use o Parking o etc 	15%					
3) Compliance with Design Brief <ul style="list-style-type: none"> o urban design o public domain o architectural design o internal planning and amenity o ESD o heritage o etc 	55%					
4) Buildability <ul style="list-style-type: none"> o construction methodology o structural design o services o ESD o etc 	15%					
	100%					

4 December 2018

Richard Francis Jones
FJMT
Level 5, 70 King Street,
Sydney NSW 2000

Dear Richard and Team,

201 Elizabeth Street, Sydney – Architectural Design Competition Winning Architect Award

It is my pleasure to write to you on behalf of Dexus Property Group, Perron Investments, and the Jury for the 201 Elizabeth Street Design Competition to confirm that the submission of FJMT was selected as the winning competition entry. Congratulations on your team's success in a significant and prestigious design competition.

Following deliberations, the jury have selected FJMT as the winner of the design competition and authors of the scheme most capable of achieving design excellence for the following reasons:

- The scheme presents a superior response to St George's Church in relation to the setback to the southern boundary, including the width, proportion and axial centralisation of St George's Church within this new space. The activation of this southern setback with a retail edge and landscaping treatment is supported and should be retained;
- The siting of the pedestrian entrance to Museum Station within the southern through-site link is supported by the jury and is a positive outcome by bringing commuters up from lower ground level and into the public domain;
- The provision of an activated zone to Castlereagh Street on the property boundary minimises the impact of the hotel drop-off on the public domain whilst providing improved amenity to the hotel arrival experience;
- The porosity of the ground floor and extensive activation on all frontages and internal through-site connections should be retained;
- The formulation of the tower form to reduce the shadow cast by the building on the steps of the Anzac War Memorial represents a superior public interest outcome whilst presenting a sculptural tower form;
- The scale, proportion, and vertical and horizontal articulation of the tower is very successful. The tri-partite form of the tower is elegant and supported by the jury. The tower coming to ground within the diagonal through-site link creates a strong relationship between the podium and tower, whilst maintaining the visual integrity of the park edge street wall;
- The approach to ESD and microclimate is commended, and the jury supports the development of these aspects; and
- The location of the ballroom space within the podium providing views to Hyde Park.

The Jury recommended the following issues be the subject of further design refinement and resolution prior to the submission of the development application:

- *Podium expression:* Whilst the jury appreciates the contextual study of Elizabeth Street the podium façades are considered to be an over-articulated filigree, which detracts from the intent and principles established in the study. The local precedents contained within the design report present a calmer face to Elizabeth Street, and a stronger sense of a substantial podium wall. The podium façade and its ordering grid could be simplified to provide more legibility and external expression of the hotel uses contained within, such as giving stronger presence to the ballroom.
- *Hotel operation:* The hotel planning requires a fundamental review to ensure that efficient access and functional operations can be achieved on every floor from a common core.

- *Hotel rooms:* Internal facing hotel rooms (as proposed in 'Anzac Memorial Arcade') should be minimised or preferably avoided entirely. The proposed extent of natural light and air to common access corridors in the hotel should be maintained or improved where possible.
- *Tower expression:* Whilst the horizontal and vertical articulation of the tower is supported; the terracotta horizontal elements need to be reviewed to ensure the visual appeal of the tower is not lost while the expansive views from apartments are optimised. In addition to this, the Jury recommends that the vertical slots between the three parts of the tower are further accentuated in plan and detail to ensure that the clear articulation suggested in the photomontages is evident in the built work.

The jury notes that the winning scheme exceeds the maximum height of the approved building envelope. This variation to the building envelope may be supported by the jury if it can be demonstrated that the tower form results in an improved shadow reduction to Hyde Park and does not result in view loss to surrounding residential buildings beyond that considered in the Concept DA.

The Jury believes that the FJMT and Team scheme is capable of achieving design excellence following the resolution of the matters outlined above. The Jury's Design Competition Report is currently being prepared for submission to the City of Sydney. This will also record the items noted above.

Again, we offer our sincere congratulations on your success and look forward to watching this important and exciting project move forward. Should you have any queries about this matter, please do not hesitate to contact me on 9409 4971 or smiller@ethosurban.com.

Kind Regards,

Samantha Miller
Principal Planner/Competition Manager